

Big Darby Accord Advisory Panel

November 13, 2018

1:30pm

Franklin County Courthouse
Meeting Room B, 25th Floor
373 South High Street
Columbus, Ohio 43215

1. Roll Call
2. Introduction of Staff
3. Approval of minutes from October 9, 2018
4. New Business

Blauser Farms (Case #AP-18-03)

Review regarding a Columbus application to rezone a site with modifications to a site plan previously approved by the panel generally located west of Galloway Road, south of West Broad Street, and east of Alton Road.

Applicant: Blauser Capital Ltd.
Location: City of Columbus
Address: 6145 West Broad Street (PID # 010256886)
Acreage: 126 +/- acres (gross)
Request: Rezone from R (Rural) to CPD, PUD-6, L-AR-12, L-C-2 and modify a previously approved site plan.

Alton Place (Case #AP-18-04)

Review regarding a Hilliard application to rezone a site generally located west of Alton Darby Creek Road, north of Roberts Road, east of Walker Road, and South of Muir Parkway.

Applicant: Dublin-Cosgray LLC.
Location: Franklin County – Brown Township
Address: Northwest corner of Roberts Road and Alton Darby Road.
(PID # 053-000004, 053-000006, 053-000007, 053-000008, 053-000009,
053-000010, 053-000011, 053-000012, 053-000013, 053-000014,
053-000015, 053-000016, 053-000018, 053-000019)
Acreage: 343.39 +/- acres (gross)
Request: Rezone from R (Rural) to PUD (Planned Unit Development)

5. Adjourn to December 11, 2018

**MINUTES OF THE
BIG DARBY ACCORD ADVISORY PANEL**

Tuesday, October 9, 2018

The Big Darby Accord Panel convened in Meeting Room B on the 25th floor of the Franklin County Courthouse, 373 South High Street, Columbus, Ohio, 43215, on Tuesday, October 9, 2018.

Present were:

Ashley Hoye, Chairperson
John Bryner
Sheree Gossett-Johnson
Greg Hart
Margaret Malone
Anthony Sasson
John Tetzloff
Vincent Tremante

Franklin County Development Department members:

Matthew Brown, Planning Administrator

City of Columbus Planning Division members:

Christopher Lohr, Planning Manager
Luis Teba, Senior Planner

City of Hilliard

Elizabeth Clark

Chairperson Hoye opened the meeting.

The first order of business was the approval of the minutes from the May 8th, 2018 meeting.

Mr. Sasson made a motion to approve. Seconded by Mr. Tremante. The motion was approved by a five-to-zero vote.

NEW BUSINESS:

Mr. Hoye indicated that the next order of business was Case AP-18-02.

Mr. Teba presented application AP-18-02.

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Mr. Tetzloff stated that he had concerns regarding LEED certification not being adhered to.

Mr. Teba replied that the city planned on using the LEED certification as a guide, but that the site's location made it impossible to meet the basic requirements of LEED Neighborhood Development.

Mr. Lohr stated that if the panel wished to require LEED certification, they could move in that direction. The panel has the final say in how the standards are interpreted.

Mr. Malone asked for clarification on Neighborhood Development vs Neighborhood Design.

Mr. Teba explained that Neighborhood Design was never fully developed, but rather it became Neighborhood Development with different scoring requirements and categories.

Mr. Tetzloff indicated that he felt that this development should be required to achieve a higher standard of development in order to receive the bonus density. If they do not achieve LEED certification they could be held to 1 du.ac.

Mr. Sasson stressed the importance of stormwater management. The LEED components are good things, but I'm not sure they are helpful with regards to stormwater management.

Mr. Tetzloff asked if they would receive a LEED checklist to evaluate.

Mr. Teba replied that they would.

Tom Hart, Matthew Callahan, Karl Billisits, and Brad Holland presented on behalf of the applicant.

Greg Hart inquired whether the homeowners in the outlots would have to connect into the city sewer if their septic systems failed.

Mr. Brown stated that he couldn't answer that question.

Greg Hart asked if homeowners would be forced to join Columbus schools if they connected to the sewer system.

Ms. Clark answered that they would all be Hilliard schools because win-win had gone away.

Greg Hart stated that the presentation was a good start, but he would be looking for more specifics concerning the total impact of runoff water to the Hellbranch.

Mr. Tremante raised concerns about what was being categorized as open space. He would like a breakdown of the open space categories. He would also like the wetlands to be delineated and categorized so they could evaluate the buffers being proposed around them. He has concerns regarding the Stream Corridor Protection Zone and the amount of buffer being provided for it, as well as the amount of land being set aside for stream restoration.

Mr. Sasson added that he was also concerned about the amount of land being dedicated to stream restoration. He would like to know if the applicant is applying the stream restoration credit towards their overall reduction of groundwater recharge. He also raised concerns about the thermal impact that the retention pond water would have on the stream. He wanted to emphasize that there is plenty of money available for Big Darby conservation land acquisition, but that it was not being used. He appreciated the trails but wanted to move them further away from the stream to provide adequate space for stream restoration. He wanted details regarding the handling of spoils from the stream restoration and requested a definition of "meadow". He encouraged the developers to provide more details on their LID proposals.

Ms. Gossett-Johnson raised concerns about the tiling system and how the developer would handle any tiles they encountered. Also, she encouraged the developer to conduct public outreach and meetings with residents in the area.

Mr. Holland replied that any tile system that is disconnected within the development would be tied back in where it is, or it would tie into the storm system.

Ms. Gossett-Johnson replied that she would like to see the volumes of potential tile systems included in their calculations.

Mr. Sasson asked the applicant to compare their proposed groundwater recharge rate to the amount required by the stormwater permit.

Mr. Tremante stated that he felt the developer was doing a lot of end-of-pipe solutions. They should adopt the LID approach to try to treat it where it is generated. This would help reduce temperatures created by the retention ponds and benefit the Clover Groff. The applicant needs to focus more on thermal pollution.

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Mr. Holland replied that they are working on implementing LID solutions. While the footprints of the basins seems pretty massive, they are using a conservative approach to ensure that Pulte and Harmony wouldn't lose lots due to undersizing the ponds.

Mr. Bryner added that the county engineer required that disconnected field tiles be tied into the storm sewer system.

Mr. Sasson stated that regional stream restoration planning should be adopted instead of doing stream restoration in short sections.

Mr. Tetzloff stated that if the LEED certification could not be established, then he would be looking for some sort of trade off. They need to do something extra compared to conservation development to get the density they are looking for. Standard retention ponds do not count as open space.

Mr. Sasson raised concerns regarding the areas surrounding the wetlands. There should be a 50 foot buffer to take care of the hydrology around the wetland.

Ms. Malone requested a breakdown of the open space categories.

Ms. Hampton raised concerns about the size of the interior open spaces and the height of the multi-family units. She appreciated the green space and wetland preservation but wanted to ensure that it would be preserved that way in perpetuity. She suggested that the density be decreased if LEED status could not be attained. She also stated that she was concerned that the retention ponds could cause issues with mosquitos.

Mr. Tetzloff stated that development was occurring rapidly in the watershed outside of the Accord. Areas such as Plain City, West Jeff, Union County, Jerome Township were seeing a lot of development pressure. He felt it would be good for jurisdictions in the Darby Accord to consider reaching out to those other jurisdictions to express the desire that the planning that went in to the Darby Accord be emulated in other parts of the watershed.

Mr. Sasson stated his agreement with Mr. Tetzloff and stated that he felt the Ohio EPA permit was inadequate to protect small stream and water in the watershed.

There being no further new business to come before the Big Darby Accord Panel, Chairman Hoyer adjourned the meeting.

Big Darby Accord Advisory Panel

Development Review Checklist

To be completed by Agency Staff
Revised 10/1/08

Section A: General Information

Project Information	
Site Address 6145 West Broad Street	Parcel ID(s) 010-256886
Existing Zoning District(s) R-Residential	Total Acreage: Gross 126.3 acres
Proposed Zoning District(s) CPD, PUD-6, L-AR-12, L-C-2	Total Acreage: Net 124.5 acres

Jurisdiction	
<input type="checkbox"/> Brown Township	<input checked="" type="checkbox"/> Columbus
<input type="checkbox"/> Norwich Township	<input type="checkbox"/> Grove City
<input type="checkbox"/> Pleasant Township	<input type="checkbox"/> Harrisburg
<input type="checkbox"/> Prairie Township	<input type="checkbox"/> Hilliard
<input type="checkbox"/> Washington Township	

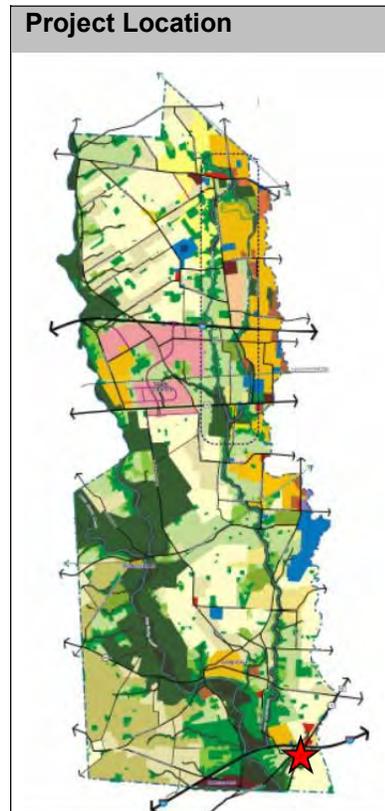
Agency Staff Information – Primary Contact	
Name Luis Teba	
Jurisdiction / Agency Name City of Columbus – Columbus Planning Division	
Address 111 N. Front St.	
3rd Floor	
Columbus, OH 43215	
Phone # 614-645-8062	Fax # 614-645-6675
Email LFTeba@columbus.gov	

Zoning Authority	
<input checked="" type="checkbox"/> Columbus	
<input type="checkbox"/> Franklin County	
<input type="checkbox"/> Grove City	
<input type="checkbox"/> Harrisburg	
<input type="checkbox"/> Hilliard	
<input type="checkbox"/> Prairie Township	

Subdivision Authority	
<input checked="" type="checkbox"/> Columbus	
<input type="checkbox"/> Franklin County	
<input type="checkbox"/> Grove City	
<input type="checkbox"/> Harrisburg	
<input type="checkbox"/> Hilliard	

Tracking Information	
Accord Panel Case # AP-18-03	
Jurisdiction Case # Z18-065	

Meeting Dates	
Review Body	Date
Staff Review:	11/5/2018
Accord Panel:	11/13/2018
Jurisdiction Commission	12/13/2018
Jurisdiction legislative body	January 2018



Section B: Background**Project Description**

The site consists of one parcel totaling 126.3 acres generally located west of Galloway Road, south of West Broad Street, and east of Alton Road. The proposal is to rezone the site from R (Residential) to CPD (Planned Community District), PUD-6 (Planned Unit Development), L-AR-12 (Limited Apartment Residential), and L-C-2 (Limited Commercial). The proposal is also a modification of a site plan previously recommended for approved by the panel in 2008. The major changes to the previous plan are related to housing typologies, open space, and commercial acreage.

The site was originally 203.9 acres, however, forty-four acres of the western portion of the site were sold to Columbus Recreation and Parks Department in 2004. This area was purchased with the help of Clean Ohio funds and was used for Clover Groff stream restoration and preservation purposes. The City returned to the property owner in 2008 and purchased an addition 30.6 acres to serve as active recreational open space. Although this portion of the development isn't included in the area under consideration for rezoning, open space calculations and Tier areas that were part of the original property are included in open space and density calculations.

The site is located within the Suburban High Density and Commercial Land Use categories. The Suburban High Density allows for densities of 3-5 du.ac., while the Commercial category is defined as "local or regionally serving commercial and office uses such as groceries, big box stores". There are an additional 16 acres of "Residential" land with a density of 3-5 du.ac. along the eastern property line. This area is outside of the accord's jurisdiction and falls under the Westland Area Plan.

The property has natural features consisting of Tier 1, Tier 3, Protected land, wetlands, woodlands, Reese Ditch, and Clover Groff Run. There are approximately 43 acres of Tier 1 land, 34 acres of Tier 3 land, 17 acres of commercial land, 41 acres of Suburban Medium Density land, and 1.3 acres of wetland throughout the site.

The proposal consists 451 units, 112 acres of open space, and 25 acres of commercial development along West Broad Street. The proposed gross density is 3.2 dwelling units per acre, and the residential development will result in 191 units of single family housing with an additional 260 units of multifamily housing. The commercial development will have a maximum square footage of 150,000 sq.ft. (excluding outlots).

Background Information

A timeline of significant actions is included below.

2000	The applicant filed a rezoning application which was placed on hold due to the formation of the new Hellbranch regulations and then the Big Darby Moratorium.
2004	The applicant sold 44.2 acres along the west side of the site to the City's Recreation and Parks department as preservation area.
2008	The applicant sold an addition 30.6 acres as recreational open space to the City's Recreation and Parks department.
2008	A rezoning application was recommended for approval by the Big Darby Accord Panel and the Development Commission, but did not go forward to City Council due to traffic issues.

Section C: Assessment and Evaluation**Conservation Assessment**

The site contains multiple areas of Tier 1, Tier 2, and Tier 3 land as well as wooded areas. There are approximately 43 acres of Tier 1 land and 0.7 acres of Tier 2 land located in the 100 year floodplain and along the Reese Ditch. There are approximately 34 acres of Tier 3 land fronting along Broad Street, and 5 acres of woodlands located at the southeastern corner of the property.

The majority of the Tier 1 and Tier 2 land will be preserved as conservation areas and open space. Most of the Tier 3 land will be redeveloped for commercial uses, although the applicant is proposing to preserve at least half of the mature trees along West Broad Street within the 50 foot setback that are six inches or larger in caliper.

Streams and Wetlands Assessment

This site contains wetlands, stream corridor protection zones, ponds, and floodplains.

The Reese Ditch bisects the site, traveling 4,190 linear feet from West Broad Street to Clover Groff Run. It will be protected with a 200' riparian buffer, and all Stream Corridor Protection Zones will be permanently protected through a conservation easement or deeded to the City.

There are six wetlands scattered throughout the site, which range in size from 0.571 acres to 0.08 acres. Approximately 70% of the delineated wetlands will be preserved and protected by either a 50 foot setback or a no build zone. Wetland 2 will be removed, but its loss will be mitigated by purchasing wetland credits from the Big Darby-Hellbranch mitigation bank. Wetlands 4 and 5 are within the stormwater management area set aside for residential development. These wetlands will be protected by pre-treating any storm runoff from the residential areas.

Stormwater Best Management Practices Assessment

The applicant is proposing to handle stormwater through a mix of LID and Stormwater BMP's. The developer will install low impact development (LID) or Green Infrastructure (GI) stormwater controls such as, but not limited to: bioretention vegetated swales, constructed stormwater wetland, grass filter strips, and level spreaders in the commercial developed area. The proposed site runoff shall be collected and routed to several discharge locations based upon existing subwatershed areas. Low Impact Develop (LID) or Green Infrastructure (GI) techniques will be used to help filter runoff and reduce runoff volumes.

Alternative Wastewater Systems Assessment

N/A

Revenue Assessment

The Accord outlines three ways to generate revenue; tax increment financing (TIF), a new community authority (NCA) and developer contributions. The applicant is planning on taking part in TIF and developer contributions.

Section D: Overall Assessment and Staff Analysis**Overall Assessment**

The Big Darby Accord Watershed Master Plan, adopted in 2006, includes two maps to guide development: a Proposed General Land Use Map and a Conservation Strategy Map. The Proposed General Land Use Map recommends the area for Commercial development, and Suburban Medium Density at 3-5 du.ac. The Conservation Strategy map shows the site containing Tier 1, Tier 2, Tier 3, and Protected areas.

Due to the fact that the proposal was already recommended for approval by the Big Darby Accord in 2008, staff will be focusing on the changes between the two plans. The major elements of the two plans remain the same, such as the density, uses, SCPZ preservation, and implementation of stormwater BMP's and LID techniques. There are some changes related to housing typologies, open space, and commercial acreages that do differ.

Although the housing count is virtually the same (increasing from 450 to 451), the ratio of the housing types is changing. While both plans called for a mix of multi-family and single family housing, the number of single family housing units in the modified plan is decreasing from 232 to 191 units, while the multi-family units are increasing from 136 to 260. To accommodate this change, the amount of acreage dedicated to multifamily housing is increasing by approximately 15 acres. This area will now extend along the width of the development and have frontage on Broad Street. The single family acreage is likewise reducing in size from 71.35 acres to approximately 63.2 acres. The CPD commercial area will also reduce in size from 33 acres to 24.6 acres. The maximum square footage of this area (excluding the outlots) will remain the same and not exceed 150,000 sq.ft.

As mentioned earlier, 75 acres were sold to the City's Recreation and Parks Department in the mid 2000's. Staff is still including this acreage in the updated calculations, resulting in an open space number that remains relatively the same at around 112 acres, or 55% of the total site. Natural open space areas are increasing from 57 acres to 97 acres, active recreation areas are decreasing from 30 acres to 18.2 acres, and storm water management open areas are increasing from 15.62 acres to 79.5 acres.

The proposal does make steps to protect wetlands, woodlands and improve stormwater quality on site. Five of the six wetlands on site are being preserved, and although Wetland 2 will be removed, its loss will be mitigated by purchasing wetland credits from the Big Darby-Hellbranch mitigation bank. The 5.32 acres of Tier 1 woodland being preserved in the 2008 plan has been expanded to 8.7 acres at the southeastern corner of the site. Stormwater quality will be addressed through the implementation of BMP's and LID techniques such as bioretention vegetated swales, constructed stormwater wetland, grass filter strips, and level spreaders in the commercial developed area. Potential on-lot raingardens are also being proposed for the single family parcels.

Staff finds that the modified proposal is consistent with the panel's approved 2008 site plan, as well as the recommendations of the Big Darby Accord Watershed Master Plan.

Staff Analysis				
Requirement	Yes	No	NA	Analysis
Existing conditions site map is complete	<input checked="" type="checkbox"/>			Map provides all required information
Conceptual site plan is complete	<input checked="" type="checkbox"/>			Map provides all required information
Site data table is complete and accurately calculated	<input checked="" type="checkbox"/>			Map provides all required information
Assessments	Pass	Fail	Explanation - Items incomplete, steps required to correct, etc.	
Conservation assessment	<input checked="" type="checkbox"/>		Tier 1 and Tier 2 areas will be protected as natural areas or open space. Mapped Tier 3 lands will be converted to commercial use, but half of the mature trees greater than six inches in diameter will be persevered in the 50 foot setback from West Broad Street.	
Streams and wetlands assessment	<input checked="" type="checkbox"/>		No development will take place within the SCPZ or the 100 year floodplain. 5 of 6 wetlands will be protected, however one of the wetlands will be removed. It will be mitigated through purchase of wetland credits.	
Stormwater management assessment	<input checked="" type="checkbox"/>		Stormwater BMP's and LID techniques are proposed for the area.	
Alternative wastewater assessment	<input checked="" type="checkbox"/>		N/A	
Revenue assessment	<input checked="" type="checkbox"/>		The applicant is planning on taking part in TIF and developer contributions.	
Staff analysis overall assessment			<p>The proposal complies with recommendations of the Big Darby Accord Watershed Master Plan with regards to open space and stormwater quality.</p> <p>The proposal will not be detrimental to the surrounding area.</p>	

Staff Recommendation
<p>Staff recommends:</p> <p><input checked="" type="checkbox"/> Approval</p> <p><input type="checkbox"/> with conditions (see below)</p> <p><input type="checkbox"/> Disapproval</p> <p>Reasons / Conditions:</p>

Checklist prepared by:		
<u>Luis Teba</u> Agency Staff Member	<u>Planner</u> Title	<u>11/5/15</u> Date

**COMMERCIAL PLANNED DEVELOPMENT, PUD AND
LIMITATION OVERLAY TEXT**

PROPOSED DISTRICT: CPD, PUD-6, L-AR-12, L-C-2
PROPERTY ADDRESS: 6145 West Broad Street
OWNER: Blausen Capital Ltd.
APPLICANT: Blausen Capital Ltd.
DATE OF TEXT: 10/15/18
APPLICATION NUMBER: Z18-065

1. INTRODUCTION: The subject property was originally a 203+/- acre tract between Alton Road and Galloway Road on the south side of West Broad Street. The applicant filed a rezoning application which was placed on hold due to the formation of the new Hellbranch regulations and then the Big Darby Moratorium. The City's Recreation and Parks Department approached the applicant to see if it would sell a portion of the site. The applicant agreed to a sale and the City with Clean Ohio funds purchased 46+/- acres along the west side of the site.

The City approached the applicant again in 2006 to see if additional ground could be purchased to create a new recreation center for the Westland Community. At the same time the Big Darby Moratorium expired and now the applicant wants to move forward with a zoning application. The 2008 application was approved by the Accord Panel and the Development Commission but did not go forward to City Council because of traffic issues. An updated traffic study is underway and the applicant wants to move forward with a revised site plan and zoning application.

SUBAREA 1: CPD

2. PERMITTED USES: Those uses permitted under Section 3356.03 C-4 Commercial of the Columbus City Code with the following exclusions:

Animal shelter
Armored car, investigation, guard and security services
Astrology, fortune telling and palm reading
Billboards
Blood and organ banks
Cabarets and nightclubs
Community food pantry
Crematory
Drive-in motion picture theaters
Halfway house
Missions/temporary shelters
Outdoor power equipment stores
Pawn broker

3. DEVELOPMENT STANDARDS: Unless otherwise indicated in the written text, the applicable development standards shall be those standards contained in Chapter 3356, C-4, Commercial of the Columbus City Code.

A. Density, Height, Lot and/or Setback Commitments.

1. Height District shall be 35 feet as measured per Columbus City Code.
2. Parking setback from West Broad Street shall be fifty (50) feet.
3. Building setback from West Broad Street shall be sixty (60) feet.

4. Maximum square footage for this Subarea excluding the outlots shall not exceed 150,000 sq. ft.

B. Access, Loading, Parking and /or other Traffic Related Commitments.

1. The developer shall improve the intersection of Galloway Road and West Broad Street by participating in the installation of a northbound left turn lane on Galloway Road.

2. The developer shall improve the intersection of Site Driveway 1 / Alton-Darby Creek Road and West Broad Street by installing a westbound left turn lane and an eastbound right turn lane.

3. The above traffic improvements shall be required upon the development of commercial buildable area.

C. Buffering, Landscaping, Open Space and/or Screening Commitments.

1. Within the setback areas along West Broad Street and any interior public street, a 4 rail white horse fence shall be installed as well as one deciduous tree per forty (40) feet of frontage thereof. Trees do not have to be equally spaced, but may be grouped. In addition the developer shall screen any parking lot adjacent to West Broad Street or any other public street with a three (3) foot high continuous planting hedge or earth mound or combination thereof. (Plantings shall be a maximum height of 3 feet at installation if used alone to meet this screening height.) Said screening shall be installed within the parking setback adjacent to that public street.

2. In addition to the fifty (50) foot setback the developer shall create two open space areas within the proposed outparcel areas shown on the CPD plan. One open space shall be the stream corridor protection zone on both sides of Reese ditch and the other shall be a vegetated swale to convey stormwater from the northern part of the CPD subarea to Reese ditch and to create appropriate open space areas along West Broad Street.

3. The developer shall install low impact development (LID) or Green Infrastructure (GI) stormwater controls such as but not limited to: bioretention, vegetated swales, constructed stormwater wetlands, grass filter strips, and level spreaders in the commercial development area. Examples of these types of stormwater control devices are found in the City of Columbus Division of Sewerage and Drainage Stormwater Drainage Manual and Ohio Department of Natural Resources Rainwater and Land Development Manual.

4. The final configuration of the open space and stormwater best management practices (BMP's) shall be determined by the developer at the time of final engineering. Final stormwater BMP's selected by the developer shall however comply with and facilitate low impact development to meet the water quantity and quality controls outlined in the Ohio EPA NPDES Permit, the City of Columbus City of Columbus Division of Sewerage and Drainage Stormwater Drainage Manual and the Big Darby Accord Watershed Master Plan. The stormwater design shall consist of more than just a stormwater detention/retention basins. The proposed site runoff shall be collected and routed to several discharge locations based upon the existing subwatershed areas. Low Impact Development (LID) or Green Infrastructure (GI) techniques shall be used to help filter runoff and reduce runoff volumes. Examples of LID/GI techniques are as follows: (1) Runoff from paved surfaces shall be directed to green space areas prior to entering storm drain inlets and open wetland channel systems may utilized rather than piped systems to slow the velocity of runoff and encourage filtration and infiltration. (2) Green space shall be interspersed throughout the site, to lessen the heat island effect of parking lots, and utilized as a stormwater infiltration and filtration network leading to the stormwater management basins. (3) The stormwater management basins shall be designed to meet water quality and quantity requirements outlined in the Ohio EPA NPDES Permit, City of Columbus Division of Sewerage and Drainage Stormwater Drainage Manual and Ohio Department of Natural Resources Rainwater and Land Development Manual.

5. The Stream Corridor Protection Zone shall be permanently protected through a conservation easement or deeded to the City. It shall remain wooded and in its natural state as required by the City's Hellbranch Run Watershed Protection Overlay.

6. The developer shall preserve at least half of the mature trees along West Broad Street that are six inches or larger in caliper within the 50 foot setback. Wherever appropriate, understory brush will be cleared and trees will be pruned, fertilized and limbed up to enhance their chances of survival.

7. Any automotive body shop use shall be required to screen all parking areas where damaged cars are kept with a six foot high opaque wooden fence.

D. Building Design and/or Interior-Exterior Treatment Commitments.

1. Except for the outparcels, the building material for the elevations which face West Broad Street shall be brick, brick veneer, stone, stone veneer (including manufactured stone, fiber-cement siding wood individually or in any combination thereof except for the doors, windows and trim / flashing treatments.

2. The outparcel buildings shall have the same finished materials on all four sides. Building materials for the outparcels shall be brick, brick veneer, stone, stone veneer (including manufactured stone, fiber-cement siding wood individually or in any combination thereof individually or in any combination thereof. Metal maybe used as an accent material not exceeding 10% of any building elevation.

3. Poured concrete exterior walls are prohibited except for the side and rear elevations of the commercial buildings other than outparcels.

E. Dumpsters, Lighting, Outdoor Display Areas and/or Other Environmental Commitments.

1. The developer shall install sidewalks along its frontage on West Broad Street and any interior public streets. An internal pedestrian circulation system shall be created so that a pedestrian using a public sidewalk along a public street can access proposed buildings through their parking lots.

2. Mechanicals on the top of the commercial building shall be screened to the height of the equipment.

F. Graphics and Signage Commitments.

1. All graphics and signage shall comply with the Graphics Code, Article 15, Title 33 of the Columbus City Code as it applies to the C-4, Commercial District and any variance to the sign requirements shall be submitted to the Columbus Graphics Commission for consideration.

G. Miscellaneous Commitments.

1. A Preliminary Jurisdictional Waters Delineation (PJWD) has been completed for the site and a verification (jurisdictional determination) request has been submitted to the United States Army Corps of Engineers (USACE). The existing wetland areas identified onsite shall be protected to the extent possible, in accordance with Section 4.2.2 of the Big Darby Accord, by modifying the layout to work around these areas, to maintain adequate hydrology for the preservation of wetland areas, and to protect them from construction site runoff and untreated post-construction stormwater runoff. The wetland areas will be incorporated into the Stream Corridor Protection Zone in accordance with the Big Darby Accord and into the open space and stormwater management areas. Subject to environmental regulatory approval, all mitigation for impacted wetlands will be located within the 12-digit hydrologic unit code (HUC) watershed to the extent possible. There is a 0.089-acre, Category 2 (gray zone), as determined by the Ohio Rapid Assessment Methodology (ORAM), wetland (Wetland 3) located west of the existing stream (Stream 1) along the northern section. The wetland will be included as part of the Stream Corridor Protection Zone and will be protected as much as possible given the amount of disturbance proposed to the surrounding area and the drainage area. Any impacts to this wetland will be mitigated according to the requirements stated in the Darby Accord, the State of Ohio anti-degradation rules, and the Clean Water Act. To the extent possible, the developer shall place a minimum 50-foot buffer around Wetland 3.

2. The buildable area for the non-outlots' portion of the CPD is shown on the submitted drawing. However, the layout of the parking areas and building footprint is not be committed to in this zoning. The final form of the environmental features may be modified or changed upon final engineering so long as the standards of the Big Darby Accord are met. The environmental features shall have a minimum acreage of one acre.

3. After zoning, but prior to construction, a wetland / 100 flood plain protection plan will be submitted with the grading and drainage plans required for building permits.

4. All new plant materials used in vegetated Low Impact Development (LID) and Green Infrastructure (GI) stormwater controls/post-construction BMP's of the commercial development shall be native, non-invasive species as listed in the Hellbranch overlay code section. A long term landscape management plan (with a 3 year performance bond) will be formulated after zoning, but prior to construction and shall be submitted to the City's Division of Sewerage and Drainage.

5. Common open space will be either dedicated to the City or owned and maintained by a Home Owners Association (HOA) (or the commercial equivalent).

6. If additional ground is required to comply with the stormwater requirements then that ground shall come from the developable areas of the site. (CPD, L-C-2, L-AR-12 and PUD-6 except for areas labeled open space or open space and trails) the open space areas designated for stormwater management as shown on the PUD zoning site plan or from additional ground controlled by the developer.

7. CPD Criteria:

a. Natural Environment: The site is located on the south side of West Broad Street west of Galloway Road. The site has wooded areas and open fields.

b. Existing Land Use: The site is undeveloped.

c. Circulation: Access to the site will be from West Broad Street as approved by the City's Transportation Division.

d. Visual Form of the Environment: The site is surrounded by single family subdivision under development to the east; undeveloped ground to the south; park ground to the west; and residential and commercial on the north side of West Broad Street.

e. Visibility: The site fronts on and is visible from Broad Street.

f. Proposed Development: The size, type and character of the proposed development will meet the standards set forth in this development text.

g. Traffic Behavior Patterns: Traffic will access the site from the east and west directions from Broad Street.

8. CPD Site Plan:

The submitted site shall be developed in accordance with the submitted site plan. The site plan may be slightly adjusted to reflect engineering, topographical or other site data developed at the time of development. Any slight adjustment shall be reviewed by the Administration of the Department of Building and Zoning Services or his designee and may be approved.

PUD-6

SINGLE FAMILY AREA

2. PERMITTED USES: Those uses permitted under Section 3332.033 R-2, Residential of the Columbus City Code.

3. DEVELOPMENT STANDARDS: Unless otherwise indicated in the written text or shown on the submitted drawing the applicable development standards of Chapter 3332, R-2, Residential of the Columbus City Code shall apply.

A. Density, Height, Lot and/or Setback Commitments.

1. Maximum number of dwelling units shall be 191.

2. Height District shall be 35 feet as measured per Columbus City Code.

3. Maximum square footages:

a. Ranch: minimum: net floor area 1,400 sq. ft. however at most 10% of the ranch houses shall be a minimum net floor area 1,200 sq. ft.

b. Two story: minimum net floor area 1,600 sq. ft.

B. Access, Loading, Parking and /or other Traffic Related Commitments.

1. A developer shall improve the intersection of Site Driveway 3 and West Broad Street with a westbound left turn lane, an eastbound right turn lane, and enter into a traffic signal agreement with the State of Ohio.

2. The streets within the PUD shall be public streets.

C. Buffering, Landscaping, Open Space and/or Screening Commitments.

1. The developer shall plant one street tree per lot.

2. The stream corridor protection zone and the open space areas are shown on the submitted site plan. The Stream Corridor Protection Zone shall be permanently protected through a conservation easement or deeded to the City. It shall remain wooded and in its natural state as required by the City's Hellbranch Run Watershed Protection Overlay.

3. The final configuration of the open space and stormwater best management practices (BMP's) shall be determined by the developer at the time of final engineering. Final stormwater BMP's selected by the developer shall however comply with and facilitate low impact development to meet the water quantity and quality controls outlined in the Ohio EPA NPDES Permit, the City of Columbus City of Columbus Division of Sewerage and Drainage Stormwater Drainage Manual and the Big Darby Accord Watershed Master Plan. The stormwater design shall consist of more than just a stormwater detention/retention basins. The proposed site runoff shall be collected and routed to several discharge locations based upon the existing subwatershed areas. Low Impact Development (LID) or Green Infrastructure (GI) techniques shall be used to help filter runoff and reduce runoff volumes. Examples of LID/GI techniques are as follows: (1) Runoff from paved surfaces shall be directed to green space areas prior to entering storm drain inlets and open wetland channel systems may utilized rather than piped systems to slow the velocity of runoff and encourage filtration and infiltration. (2) Green space shall be interspersed throughout the site, to lessen the heat island effect of parking lots, and utilized as a stormwater infiltration and filtration network leading to the stormwater management basins. (3) The stormwater management basins shall be designed to meet water quality and quantity requirements outlined in the Ohio EPA NPDES Permit, City of

Columbus Division of Sewerage and Drainage Stormwater Drainage Manual and Ohio Department of Natural Resources Rainwater and Land Development Manual.

4. The developer shall install low impact development (LID) or Green Infrastructure (GI) stormwater controls such as but not limited to: bioretention, vegetated swales, constructed stormwater wetlands, grass filter strips, and level spreaders in the commercial development area. Examples of these types of stormwater control devices are found in the City of Columbus Division of Sewerage and Drainage Stormwater Drainage Manual and Ohio Department of Natural Resources Rainwater and Land Development Manual.

D. Building Design and/or Interior-Exterior Treatment Commitments.

1. Minimum net floor area for dwelling units shall be 1,200 square feet.
2. Each dwelling unit shall have at least a two car garage.

E. Dumpsters, Lighting, Outdoor display areas and/or other Environmental Commitments.

N/A

F. Graphics and Signage Commitments.

1. All signage and graphics shall conform to Article 15 of the Columbus City Graphics as it applies to the R-2 District. Any variance to the sign requirements shall be submitted to the Columbus Graphics Commission for approval.

G. Miscellaneous Commitments.

1. A PJWD has been completed for the site and a verification (jurisdictional determination) request has been submitted to the USACE. The existing wetland areas identified onsite shall be protected to the extent possible, in accordance with Section 4.2.2 of the Big Darby Accord, by modifying the layout to work around these areas, to maintain adequate hydrology for the preservation of wetland areas, and to protect them from construction site runoff and untreated post-construction stormwater runoff. The wetland areas will be incorporated into the Stream Corridor Protection Zone in accordance with the Big Darby Accord and into the open space and stormwater management areas. Subject to environmental regulatory approval, all mitigation for impacted wetlands will be located within the 12-digit HUC watershed to the extent possible. There is a 0.080-acre, Category 2 wetland (Wetland 1) located along the northeastern property line that is part of a larger wetland located adjacent to the site. This wetland will be protected by a no build zone and/or conservation easement around the wetland and maintaining the existing drainage area. A 0.070-acre, Category 1 wetland (Wetland 4) is located north of Stream 1 on the central portion of the site. There is also a 0.571-acre, Category 1 wetland (Wetland 5) in the center of the site, south of the Stream 1. Wetlands 4 and 5 are within the stormwater management area set aside for the residential development. The wetlands will be protected by pre-treating any stormwater runoff from the residential area prior to flowing into the wetland and maintaining the hydrologic and hydraulic characteristics as close as possible to the existing conditions. No impacts to the wetlands are anticipated. However, if wetland impacts are necessary, mitigation will be completed according to the requirements stated in the Darby Accord, the State of Ohio anti-degradation rules, and the Clean Water Act. To the extent possible, the developer shall place a minimum 50-foot buffer around Wetlands 4 and 5.

2. After zoning, but prior to construction, a wetland / 100 flood plain protection plan will be submitted with the grading and drainage plans required for building permits.

3. All new plant material used in vegetated Low Impact Development (LID) and Green Infrastructure (GI) stormwater controls/post-construction BMP's for the single family development areas shall be native, non-invasive species as listed in the Hellbranch overlay code section. A long term landscape management plan (with a 3 year performance bond) will be formulated after zoning, but prior to construction and shall be submitted to the City's

Division of Sewage and Drainage.

4. Common open space will be either dedicated to the City or owned and maintained by a Home Owner's Association (HOA) (or the commercial equivalent).
5. The lot layout, open space and street layout are shown on the submitted drawing. These items may be slightly adjusted to reflect engineering, topographical or other site data developed at the time that development and engineering plans are completed. Any slight adjustment to the drawing shall be reviewed and may be approved by the Director of the Department of Building and Zoning Services or his designee upon submission of the appropriate data regarding the proposed adjustment.
6. If additional ground is required to comply with the stormwater requirements then that ground shall come from the developable areas of the site, (CPD, L-C-2, L-AR-12 and PUD-6 except for areas labeled open space or open space and trails) the open space areas designated for stormwater management or from additional ground controlled by the developer. The developer proposes to discharge treated stormwater into an existing wetland, in part to maintain hydrology. Consideration of this approach by the City and OEPA will be required. Should this approach not meet with governmental approval then an alternative approach should be developed and submitted as part of a revised proposal.

MULTI-FAMILY AREA L-AR-12

2. PERMITTED USES: Those uses permitted under Section 3333.02 AR-12, Apartment Residential of the Columbus City Code.

3. DEVELOPMENT STANDARDS: Unless otherwise indicated in the written text or shown on the submitted drawing the applicable development standards of Chapter 3333, AR-12, Apartment District of the Columbus City Code shall apply.

A. Density, Height, Lot and/or Setback Commitments.

1. Height District shall be 35 feet as measured by Columbus City Code.
2. Maximum Density is 260 units.
3. Building and parking setback shall be 25 feet from all Subarea's lines.

B. Access, Loading, Parking and/or Other Traffic Related Commitments.

N/A

C. Buffering, Landscaping, Open Space and/or Screening Commitments.

1. The developer shall install one deciduous tree for every forty (40) feet of public street frontage within the parking setback.
2. The developer shall install a 3 foot high planting hedge, fence or earth mound individually or on any combination thereof within the parking setback to screen adjacent parking spaces from the public street.

D. Building Design and/or Interior-Exterior Treatment Commitments.

N/A

E. Dumpsters, Lighting, Outdoor Display areas and/or other environmental Commitments.

1. Parking lot lighting fixtures shall not exceed 14 feet in height.

F. Graphics and Signage Commitments.

1. All signage and graphics shall conform to Article 15 of the Columbus City Graphics as it applies to the AR-12 Apartment Residential District. Any variance to the sign requirements shall be submitted to the Columbus Graphics Commission for approval.

G. Miscellaneous Commitments.

1. The developer shall install low impact development (LID) or Green Infrastructure (GI) stormwater controls such as but not limited to: bioretention, vegetated swales, reconstructed stormwater wetlands, grass filter strips, and level spreaders in the commercial development area. Examples of these types of stormwater control devices are found in the City of Columbus Division of Sewerage and Drainage Stormwater Drainage Manual and Ohio Department of Natural Resources Rainwater and Land Development Manual.

2. The final configuration of the open space and stormwater best management practices (BMP's) shall be determined by the developer at the time of final engineering. Final stormwater BMP's selected by the developer shall however comply with and facilitate low impact development to meet the water quantity and quality controls outlined in the Ohio EPA NPDES Permit, the City of Columbus City of Columbus Division of Sewerage and Drainage Stormwater Drainage Manual and the Big Darby Accord Watershed Master Plan. The stormwater design shall consist of more than just a stormwater detention/retention basins. The proposed site runoff shall be collected and routed to several discharge locations based upon the existing subwatershed areas. Low Impact Development (LID) or Green Infrastructure (GI) techniques shall be used to help filter runoff and reduce runoff volumes. Examples of LID/GI techniques are as follows: (1) Runoff from paved surfaces shall be directed to green space areas prior to entering storm drain inlets and open wetland channel systems may utilized rather than piped systems to slow the velocity of runoff and encourage filtration and infiltration. (2) Green space shall be interspersed throughout the site, to lessen the heat island effect of parking lots, and utilized as a stormwater infiltration and filtration network leading to the stormwater management basins. (3) The stormwater management basins shall be designed to meet water quality and quantity requirements outlined in the Ohio EPA NPDES Permit, City of Columbus Division of Sewerage and Drainage Stormwater Drainage Manual and Ohio Department of Natural Resources Rainwater and Land Development Manual.

3. A PJWD has been completed for the site and a verification (jurisdictional determination) request has been submitted to the USACE. The existing wetland areas identified onsite shall be protected to the extent possible, in accordance with Section 4.2.2 of the Big Darby Accord, by modifying the layout to work around these areas, to maintain adequate hydrology for the preservation of wetland areas, and to protect them from construction site runoff and untreated post-construction stormwater runoff. The wetland areas will be incorporated into the Stream Corridor Protection Zone in accordance with the Big Darby Accord and into the open space and stormwater management areas. Subject to environmental regulatory approval, all mitigation for impacted wetlands will be located within the 12-digit hydrologic unit code (HUC) watershed to the extent possible. There is a 0.400-acre, Category 2 (modified) wetland (Wetland 2) located east of Stream 1 on the northeast portion of the site. The wetland will be included as part of the Stream Corridor Protection Zone and will be protected as much as possible given the amount of disturbance proposed to the surrounding area and the drainage area. Any impacts to the wetland will be mitigated according to the requirements stated in the Darby Accord, the State of Ohio anti-degradation rules, and the Clean Water Act. To the extent possible, the developer shall place a minimum 50-foot buffer around Wetland 2. A 0.099-acre, Category 2 wetland (Wetland 6) is located in a forested area on the southeast portion of the site. Wetland 6 is located in a designated open space and no impacts are proposed

3. After zoning, but prior to construction, a wetland / 100 flood plain protection plan will be submitted with the grading and drainage plans required for building permits.

4. All new plant material used in vegetated Low Impact Development (LID) and Green Infrastructure (GI) stormwater controls/post-construction BMPs for the multi-family area development shall be native, non-invasive species as listed in the Hellbranch overlay code section. A long term landscape management plan (with a 3 year performance bond) will be formulated after zoning, but prior to construction and shall be submitted to the City's Division of Sewerage and Drainage.

5. Common open space will be either dedicated to the City of owned and maintained by a Home Owner's Association (HOA) (or the commercial equivalent).

6. If additional ground is required to comply with the stormwater requirements then that ground shall come from the developable areas of the site, (CPD, L-C-2, L-AR-12 and PUD-6 except for areas labeled open space or open space and trails) the open space areas designated for stormwater management or from additional ground controlled by the developer.

L-C-2

2. PERMITTED USES: Those uses permitted under Section 3353.03 Office Commercial District of the Columbus City Code.

3. DEVELOPMENT STANDARDS: Unless otherwise indicated in the written text or shown on the submitted drawing the applicable development standards of Chapter 3353, Office Commercial District of the Columbus City Code shall apply.

A. Density, Height, Lot and/or Setback Commitments.

N/A

B. Access, Loading, Parking and/or Other Traffic Related Commitments.

N/A

C. Buffering, Landscaping, Open Space and/or Screening Commitments.

1. The developer shall install one deciduous tree for every forty (40) feet of private street frontage within the parking setback.

2. The developer shall install a 3 foot high planting hedge, fence or earth mound individually or on any combination thereof within the parking setback to screen adjacent parking spaces from the private street.

3. The final configuration of the open space and stormwater best management practices (BMP's) shall be determined by the developer at the time of final engineering. Final stormwater BMP's selected by the developer shall however comply with and facilitate low impact development to meet the water quantity and quality controls outlined in the Ohio EPA NPDES Permit, the City of Columbus City of Columbus Division of Sewerage and Drainage Stormwater Drainage Manual and the Big Darby Accord Watershed Master Plan. The stormwater design shall consist of more than just a stormwater detention/retention basins. The proposed site runoff shall be collected and routed to several discharge locations based upon the existing subwatershed areas. Low Impact Development (LID) or Green Infrastructure (GI) techniques shall be used to help filter runoff and reduce runoff volumes. Examples of LID/GI techniques are as follows: (1) Runoff from paved surfaces shall be directed to green space areas prior to entering storm drain inlets and open wetland channel systems may utilized rather than piped systems to slow the velocity of runoff and encourage filtration and infiltration. (2) Green space shall be interspersed throughout the site, to lessen the heat island effect of parking lots, and utilized as a stormwater infiltration and filtration network leading to the stormwater management basins. (3) The stormwater management basins shall be designed to meet water quality and quantity requirements outlined in the Ohio EPA NPDES Permit, City of

Columbus Division of Sewerage and Drainage Stormwater Drainage Manual and Ohio Department of Natural Resources Rainwater and Land Development Manual.

4. The Stream Corridor Protection Zone shall be permanently protected through a conservation easement or deeded to the City. It shall remain wooded and in its natural state as required by the City's Hellbranch Run Watershed Protection Overlay.

D. Building Design and/or Interior-Exterior Treatment Commitments.

N/A

E. Dumpsters, Lighting, Outdoor Display areas and/or other environmental Commitments.

1. Parking lot lighting fixtures shall not exceed 14 feet in height.

F. Graphics and Signage Commitments.

1. All signage and graphics shall conform to Article 15 of the Columbus City Graphics as it applies to the Office Commercial District. Any variance to the sign requirements shall be submitted to the Columbus Graphics Commission for approval.

G. Miscellaneous Commitments.

1. The developer shall install Low Impact Development stormwater controls such as but not limited to rain gardens/mico-detention, bioretention, and/or vegetated swales where appropriate to compensate for increases stormwater runoff resulting from changes in anticipated land uses in the Accord.

2. A PJWD has been completed for the site and a verification (jurisdictional determination) request has been submitted to the USACE. The existing wetland areas identified onsite shall be protected to the extent possible, in accordance with Section 4.2.2 of the Big Darby Accord, by modifying the layout to work around these areas, to maintain adequate hydrology for the preservation of wetland areas, and to protect them from construction site runoff and untreated post-construction stormwater runoff. The wetland areas will be incorporated into the Stream Corridor Protection Zone in accordance with the Big Darby Accord and into the open space and stormwater management areas. Subject to environmental regulatory approval, all mitigation for impacted wetlands will be located within the 12-digit HUC watershed to the extent possible. No wetlands were identified in the L-C-2 area.

3. After zoning, but prior to construction, a wetland / 100 flood plain protection plan will be submitted with the grading and drainage plans required for building permits.

4. All new plant material used in vegated Low Impact Development (LID) and Green Infrastructure (GI) stormwater controls/post-construction BMPs for the commercial development areas shall be native, non-invasive species as listed in the Hellbranch overlay code section. A long term landscape management plan (with a 3 year performance bond) will be formulated after zoning, but prior to construction and shall be submitted to the City's Division of Sewage and Drainage.

5. Common open space will be either dedicated to the City or owned and maintained by a Home Owner's Association (HOA) (or the commercial equivalent).

6. If additional ground is required to comply with the stormwater requirements then that ground shall come from the developable areas of the site, (CPD, L-C-2, L-AR-12 and PUD-6 except for areas labeled open space or open space and trails) the open space areas designated for stormwater management or from additional ground controlled by the developer.

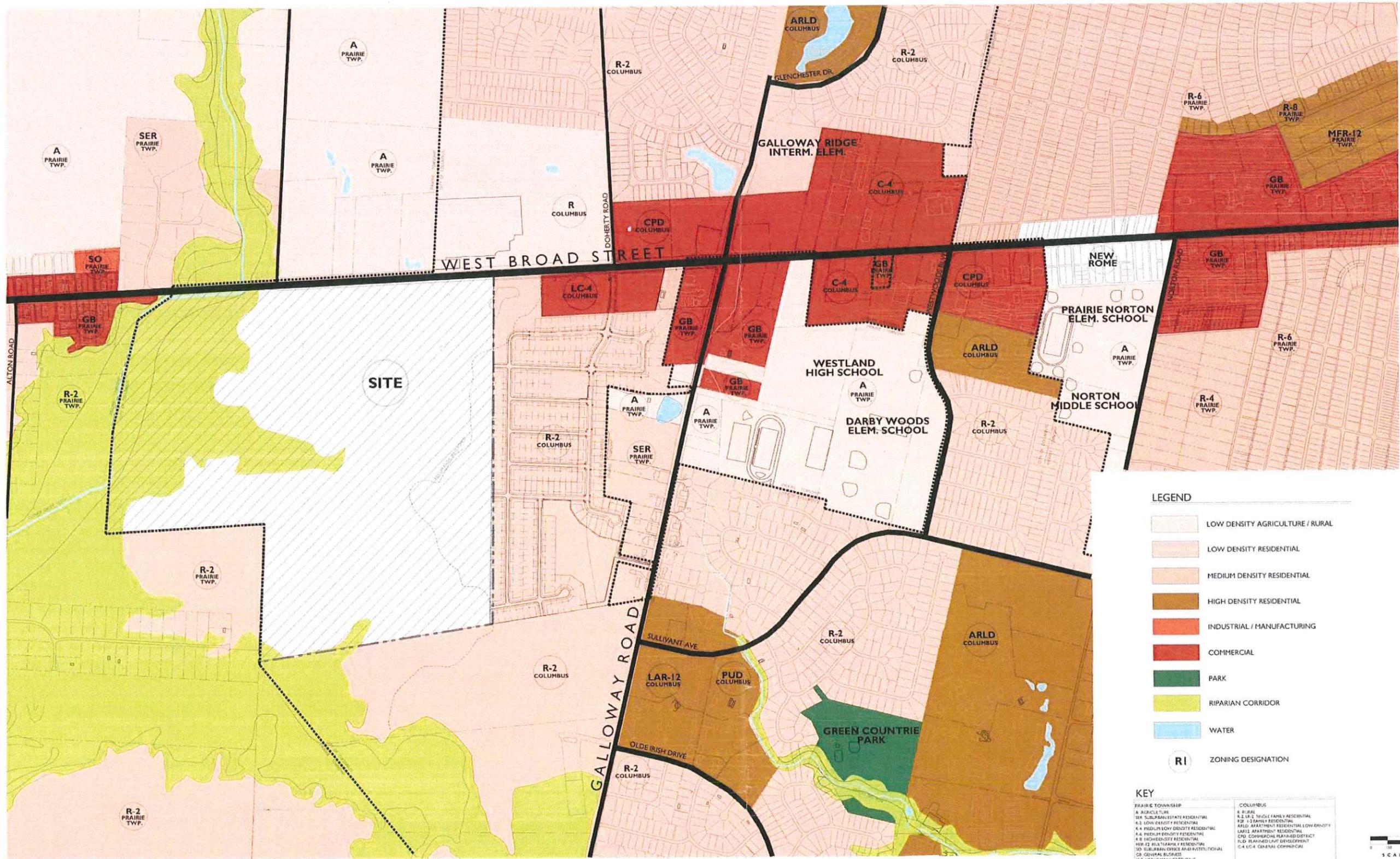
The undersigned being the owner of the subject property together with the applicant in the subject application, or their authorized representatives do hereby agree singularly and collectively for themselves, their heirs, successors and assigns, to abide by above restrictions, conditions, and commitments regarding development of the subject property and for such purpose each states that he fully understands and acknowledges that none of the foregoing restrictions, conditions, or commitments shall in any manner act to negate, nullify, alter or modify any more restrictive provision of the Columbus City Codes.

SIGNATURE:

DATE:

blausen2018.txt (nct)

10/15/18 S:/Docs/s&htxts/2018



LEGEND

	LOW DENSITY AGRICULTURE / RURAL
	LOW DENSITY RESIDENTIAL
	MEDIUM DENSITY RESIDENTIAL
	HIGH DENSITY RESIDENTIAL
	INDUSTRIAL / MANUFACTURING
	COMMERCIAL
	PARK
	RIPARIAN CORRIDOR
	WATER
	ZONING DESIGNATION

KEY

PRAIRIE TOWNSHIP	COLUMBUS
A AGRICULTURE	R-8 SINGLE FAMILY RESIDENTIAL
SEA SUBURBAN ESTATE RESIDENTIAL	R-2 LP-2 SINGLE FAMILY RESIDENTIAL
R-2 LOW DENSITY RESIDENTIAL	RP-12 BARRIERS RESIDENTIAL
R-4 MEDIUM LOW DENSITY RESIDENTIAL	ARLD APARTMENT RESIDENTIAL LOW DENSITY
R-6 MEDIUM DENSITY RESIDENTIAL	LAR-12 APARTMENT RESIDENTIAL
R-8 HIGH DENSITY RESIDENTIAL	CRS COMMERCIAL REAR-LOADED DISTRICT
HR-12 HEAVY TRAFFIC / RESIDENTIAL	PUD PLANNED UNIT DEVELOPMENT
SO SUBURBAN OFFICE AND INSTITUTIONAL	C-4 CC-4 GENERAL COMMERCIAL
CB GENERAL BUSINESS	
H-2 HEAVY MANUFACTURING	



218-065

1 2 3 4 5



1 VIEW SOUTH FROM THE BROAD STREET ALTON & DARBY CREEK ROAD INTERSECTION

2 VIEW OF THE EXISTING WOODS IN THE SOUTH EAST CORNER OF THE SITE



3 PICTURED HERE IS A VIEW OF THE EXISTING TREE ROW THAT EXISTS ALONG THE EASTERN PROPERTY LINE

4 VIEW OF THE EXISTING WETLAND



5 VIEW FROM THE NORTH LOOKING INTO PROPERTY SOUTH EAST

6 VIEW FROM THE NORTH LOOKING DOWN ALTON & DARBY CREEK ROAD TOWARD THE SITE AND WEST BROAD STREET



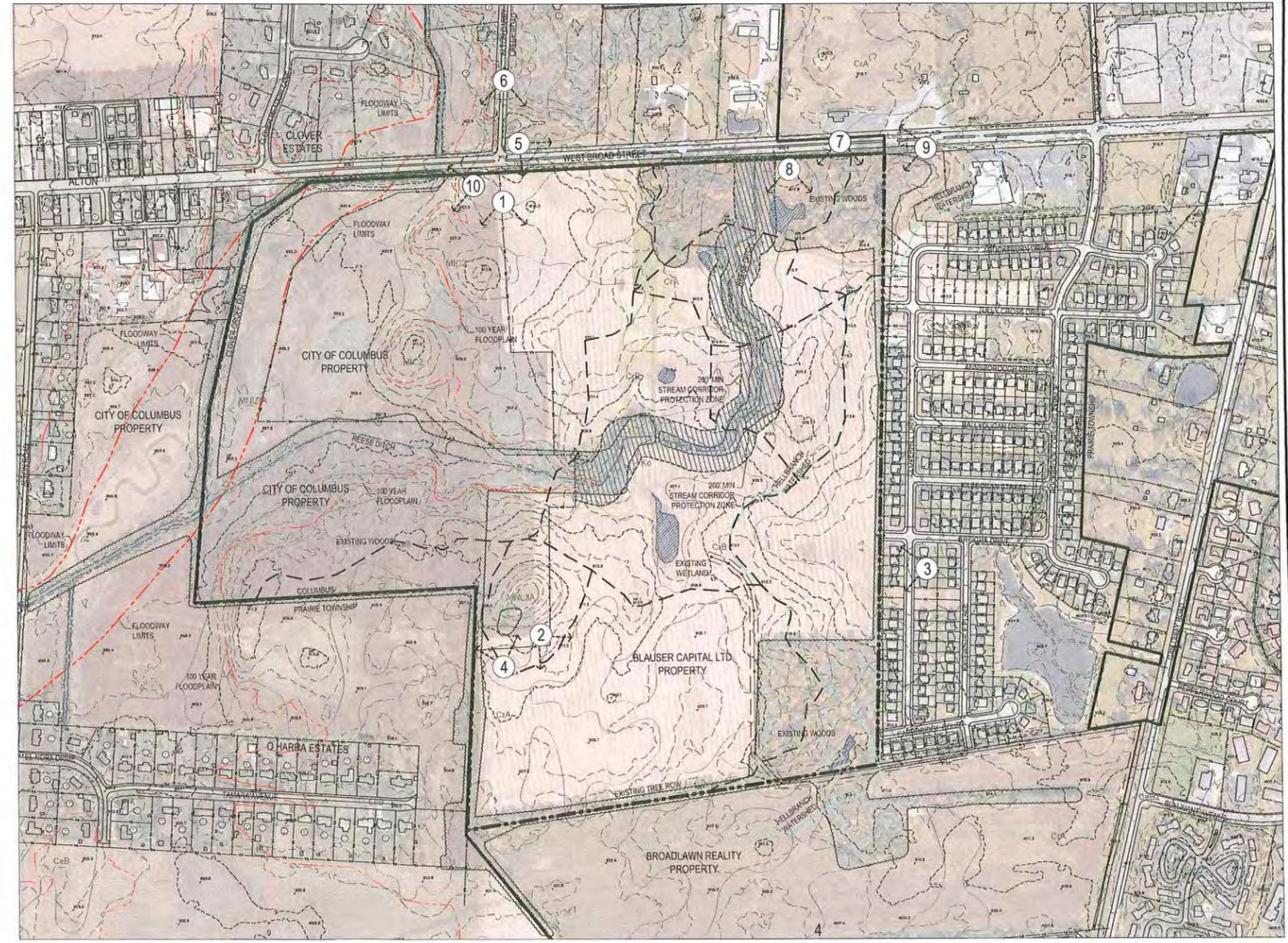
7 EXISTING ON-SITE BUILDING ON THE NORTHERN PORTION OF THE SITE

8 EXISTING BARN, NORTHERN ON-SITE CONTEXT FROM WEST BROAD STREET



9 VIEW WEST DOWN BROAD STREET

10 EXISTING CLOVER GROFF DITCH ON THE SOUTH SIDE OF BROAD STREET



A EXISTING CONDITIONS MAP
 1"=300'

REV.	DATE	DESCRIPTION

PROJECT ADDRESS CITY, STATE ZIP
 EXISTING CONDITIONS

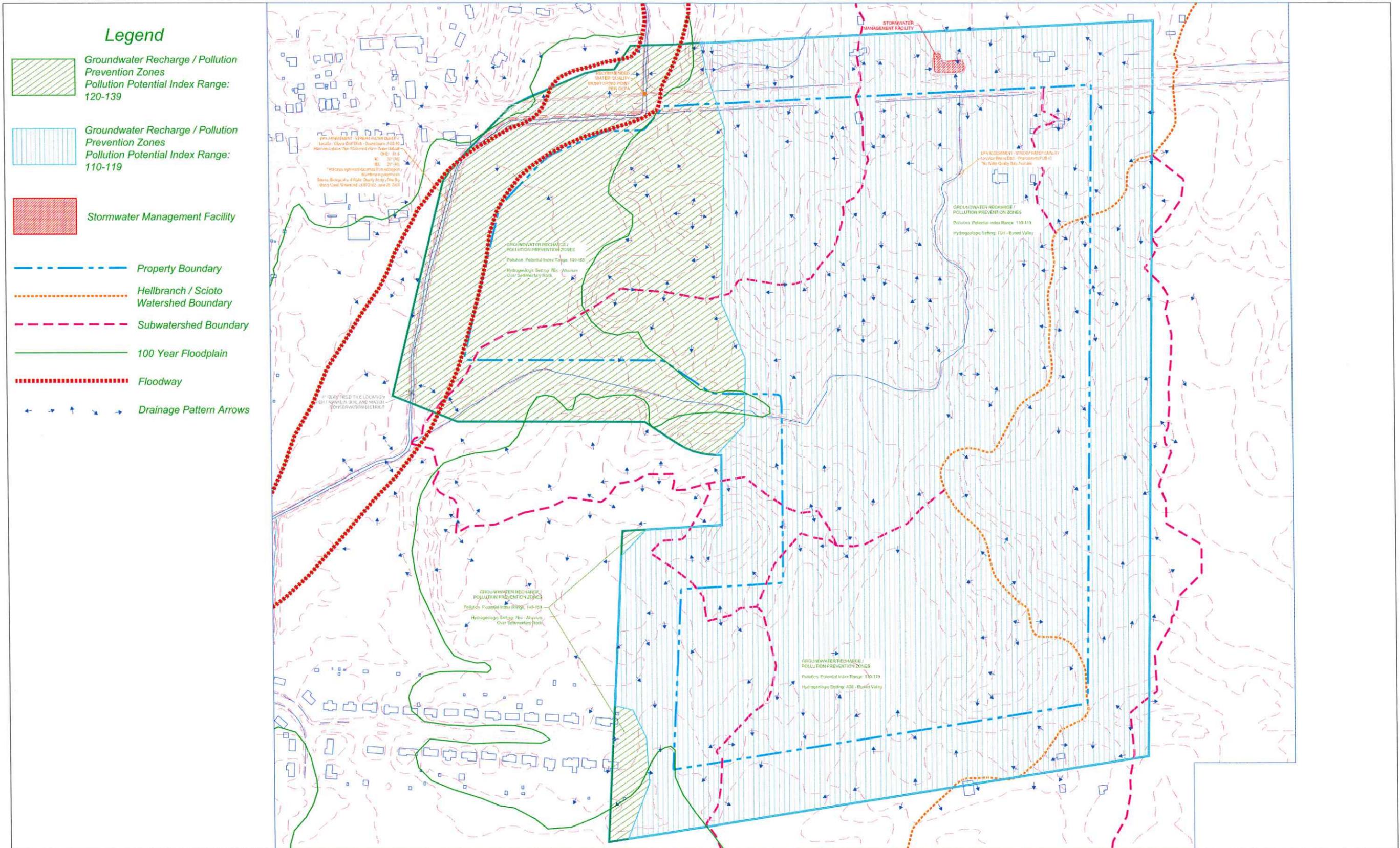
ISSUED FOR:	PERMIT	-
	BID	-
	CONSTRUCTION	-
	RECORD	-
PROJECT MANAGER	DESIGNER	

JOB NO.
 2014379



Drawing Name: D:\314\2014\379\Drawings\Access\Applications\Existing Conditions Exhibit.dwg
 Created: 9/25/14 10:45 AM

218-065



Legend

- Groundwater Recharge / Pollution Prevention Zones
Pollution Potential Index Range: 120-139
- Groundwater Recharge / Pollution Prevention Zones
Pollution Potential Index Range: 110-119
- Stormwater Management Facility
- Property Boundary
- Hellbranch / Scioto Watershed Boundary
- Subwatershed Boundary
- 100 Year Floodplain
- Floodway
- Drainage Pattern Arrows

218-065



SITE DATA

PROPOSED ZONING:	PUD-6, L-AR-12, CPD, L-C-2	
TOTAL ACREAGE		±203.9 AC.
- WEST BROAD STREET R.O.W. DEDICATION	±2.8 AC.	- 2.8 AC.
NET ACREAGE		±201.1 AC.
PARK/FORMER BLAUSER FARM		±44.2 AC.
COLUMBUS PARKS & RECREATION		±30.6 AC.
COMMERCIAL (CPD)		±24.6 AC.
- Commercial Site:	±17.5 AC.	
- (4) Outparcels:	±7.1 AC.	
COMMERCIAL (L-C2)		±5.8 AC.
SINGLE-FAMILY RESIDENTIAL (PUD-6)		±63.2 AC.
- Open Space:	±23.5 AC.	
- Single-Family Lots:	±39.7 AC.	
MULTI-FAMILY (L-AR12)		±32.7 AC.
- Open Space:	±12.3	
- Multi-Family Development:	±20.4	
TOTAL UNITS		451 DU'S
MULTI-FAMILY (PHASE I)		180 DU'S
MULTI-FAMILY (PHASE II)		80 DU'S
SINGLE-FAMILY UNITS		191 DU'S

DENSITY

GROSS DENSITY	451 UNITS / 140.1 AC. -	3.2 DU/AC.
(LESS COMMERCIAL AND RECREATION CENTER SITE)		
NET DENSITY	451 UNITS / 95.9 AC. -	4.7 DU/AC.
(LESS COMMERCIAL AND RECREATION SITES, AND 44.2 AC. FORMER BLAUSER FARM AREA)		
PROPOSED PUBLIC RIGHT-OF-WAYS		±10.55 AC.
ADJUSTED NET DENSITY	451 UNITS / 85.4 AC. -	5.28 DU/AC.
(LESS COMMERCIAL AND RECREATION SITES, 44.2 AC. FORMER BLAUSER FARM AREA, AND LESS PROPOSED R.O.W.'S)		

OPEN SPACE - (PUD-6 & L-AR12 AREAS ONLY)

TOTAL OPEN SPACE REQUIRED:	±13.94 AC.
- PARKLAND DEDICATION REQUIRED:	±5.66 AC.
- 191 UNITS @ 2.48/DU (SF) = 473.68 / 1000 = 474 x 5.5 = 2.61 AC.	
- 260 UNITS @ 2.13/DU (MF) = 553.8 / 1000 = 554 x 5.5 = 3.05 AC.	
- COMMON OPEN SPACE REQUIRED:	±8.28 AC.
- 451 UNITS x 800 SQ. FT. = 360800 SQ. FT. / 43560 = 8.28 AC.	
TOTAL OPEN SPACE PROVIDED:	±82.0 AC.
- PARK/FORMER BLAUSER FARM	±44.2 AC.
- WOODS PRESERVE	±8.6 AC.
- BUFFER / GREENS	±1.1 AC.
- STREAM BUFFER / STORMWATER / PARK	±28.1 AC.

NOTES:

PARKLAND DEDICATION REQUIREMENT BASED ON COLUMBUS CODE CHAPTER 3318 -- 5.5 AC. OF OPEN SPACE PER 1000 PEOPLE. 2.48 PEOPLE PER OWNER-OCCUPIED DWELLING UNIT FOR SINGLE FAMILY & 2.13 PEOPLE PER OWNER-OCCUPIED DWELLING UNIT FOR MULTI-FAMILY.
COMMON OPEN SPACE REQUIREMENT BASED ON COLUMBUS CODE CHAPTER 3345.09 -- 800 SQ. FT. PER DWELLING UNIT.

B.D.A.A.P. OPEN SPACE CALCULATIONS

- 1) TOTAL OPEN SPACE / SITE AREA (112.6 AC / 203.9 AC) = 55.2%
- 2) TOTAL OPEN SPACE / SITE AREA NET OF ROW'S (112.6 AC / 190.6 AC) = 59.0%
- 3) CPD / SITE AREA NET OF ROW'S (30.1 AC / 190.6 AC) = 15.8%
- 4) NATURAL AREAS / SITE AREA NET OF ROW'S (97.0 AC / 190.6 AC) = 50.8%
- 5) ACTIVE RECREATION AREAS / SITE AREA NET OF ROW'S (18.2 AC / 190.6 AC) = 9.5%
- 6) STORMWATER MANAGEMENT AREAS / SITE AREA NET OF ROW'S (79.5 AC / 190.6 AC) = 41.7%
- 7) NATURAL AREAS / OPEN SPACE TOTAL (97.0 AC / 112.6 AC) = 86.1%
- 8) ACTIVE RECREATION AREAS / OPEN SPACE TOTAL (18.2 AC / 112.6 AC) = 16.1%

**Development Plan
BLAUSER FARM**

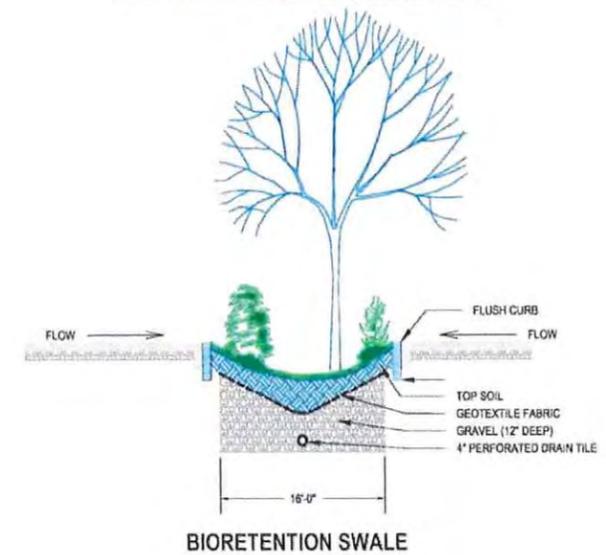
City of Columbus, Ohio October 10, 2018

Blausers Farm Partnership



218-065

BIORETENTION & VEGETATED SWALES



NOTE: ALL DRAWINGS ARE CONCEPTUAL AND ILLUSTRATE A LOW IMPACT DEVELOPMENT (LID) BEST MANAGEMENT PRACTICES (BMP) FOR STORMWATER MANAGEMENT. THESE BMPs MAY BE USED ON THE BLAUSER PROPERTY TO ATTAIN COMPLIANCE WITH THE HELLBRANCH ORDINANCE STANDARDS, THE BIG DABBY ACCORD RECOMMENDATIONS, BIG DABBY NPDES REQUIREMENTS, AND THE COLUMBUS STORMWATER DRAINAGE MANUAL. OTHER LID TECHNIQUES AND BMPs MAY BE USED TO ACHIEVE COMPLIANCE AS WELL.

BIORETENTION & VEGETATED SWALES

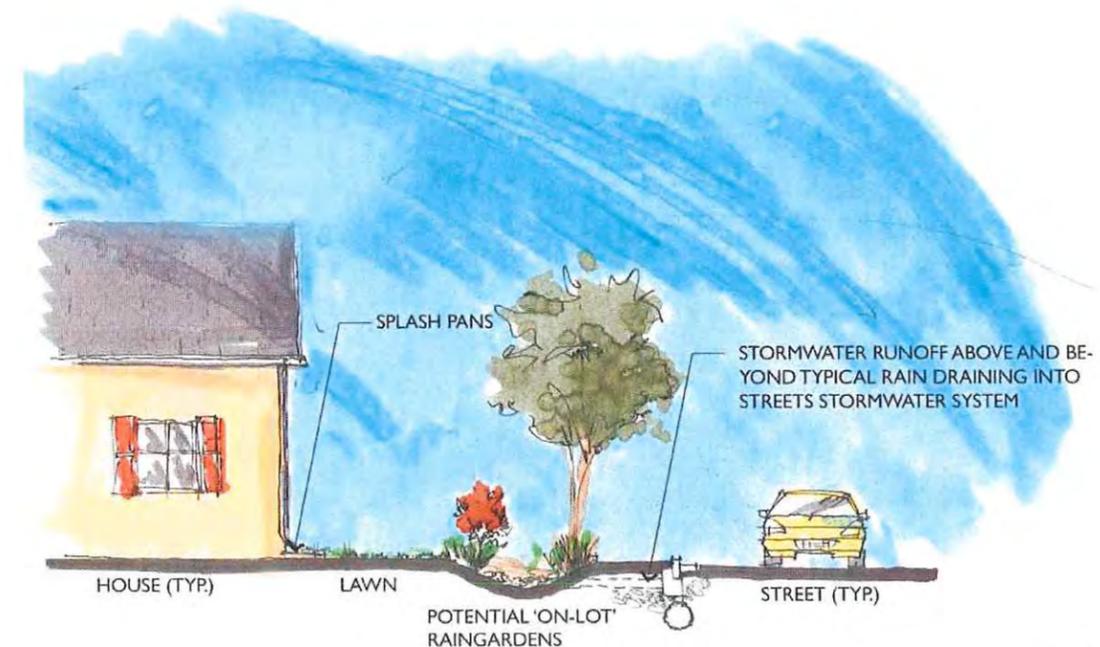


218-065

OPEN CHANNEL CONVEYANCE & RAINGARDENS



STREAM CHANNEL CROSSING

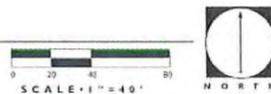


RESIDENTIAL ROOF DRAINAGE OPTION

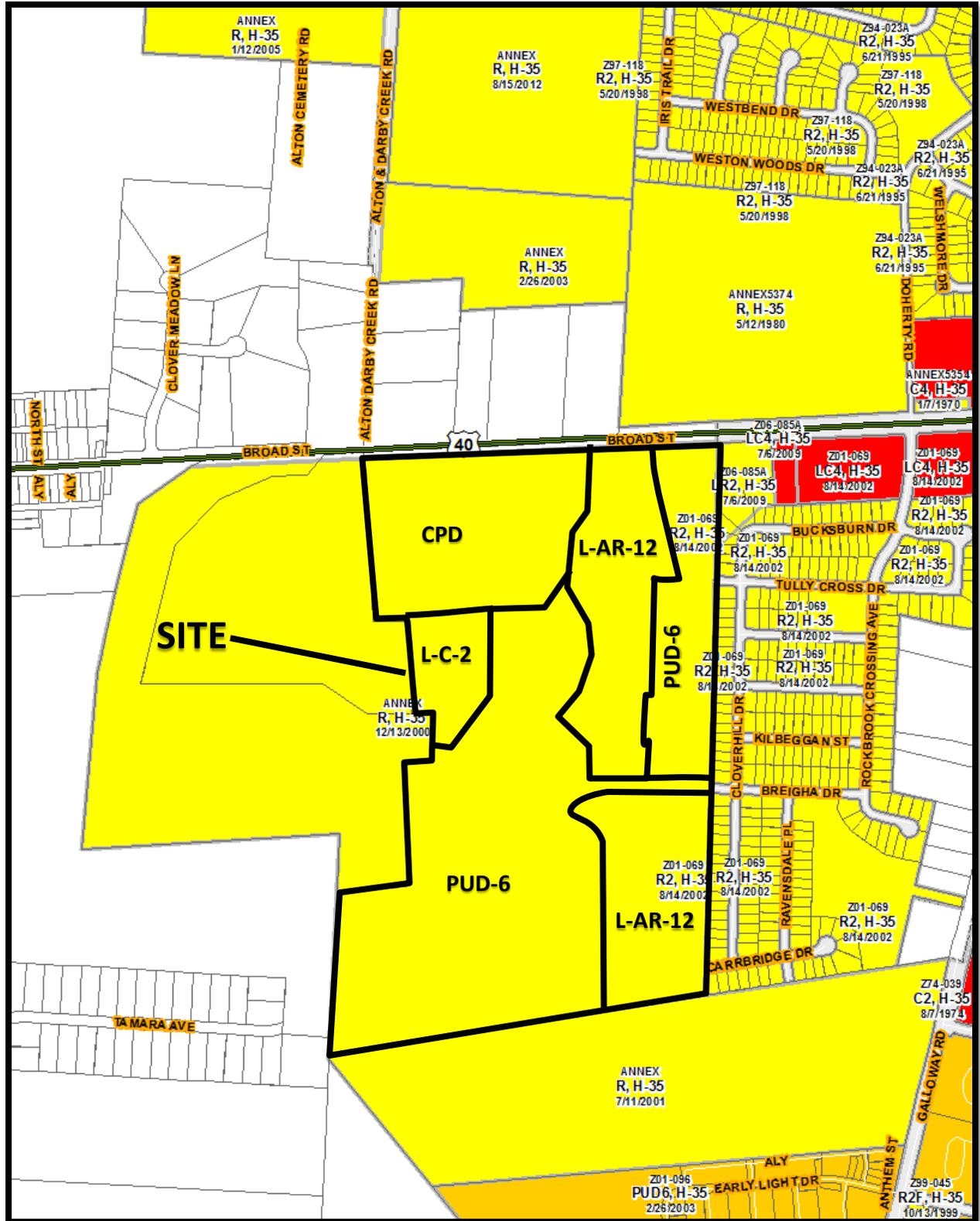


NOTE:
ALL DRAWINGS ARE CONCEPTUAL AND ILLUSTRATE A LOW IMPACT DEVELOPMENT (LID) BEST MANAGEMENT PRACTICES (BMP) FOR STORMWATER MANAGEMENT. THESE BMPs MAY BE USED ON THE BLAUSER PROPERTY TO ATTAIN COMPLIANCE WITH THE HELLBRANCH ORDINANCE STANDARDS, THE BIG DARBY ACCORD RECOMMENDATIONS, BIG DARBY NPDES REQUIREMENTS, AND THE COLUMBUS STORMWATER DRAINAGE MANUAL. OTHER LID TECHNIQUES AND BMPs MAY BE USED TO ACHIEVE COMPLIANCE AS WELL.

OPEN CHANNEL CONVEYANCE

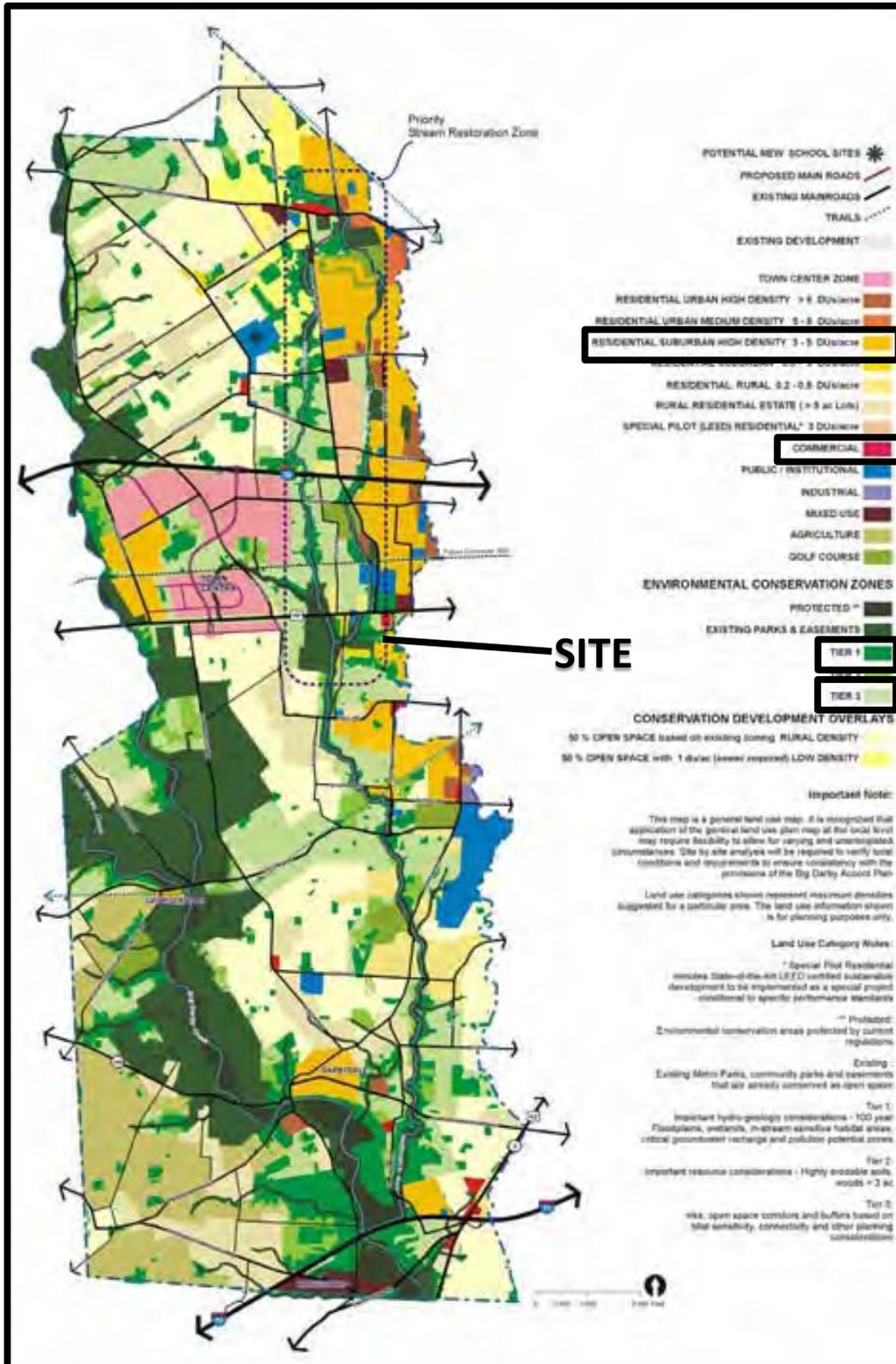


218-065



Z18-065
 6145 West Broad Street
 Approximately 126.31 acres
 R to CPD, PUD-6, L-AR-12, & L-C-2

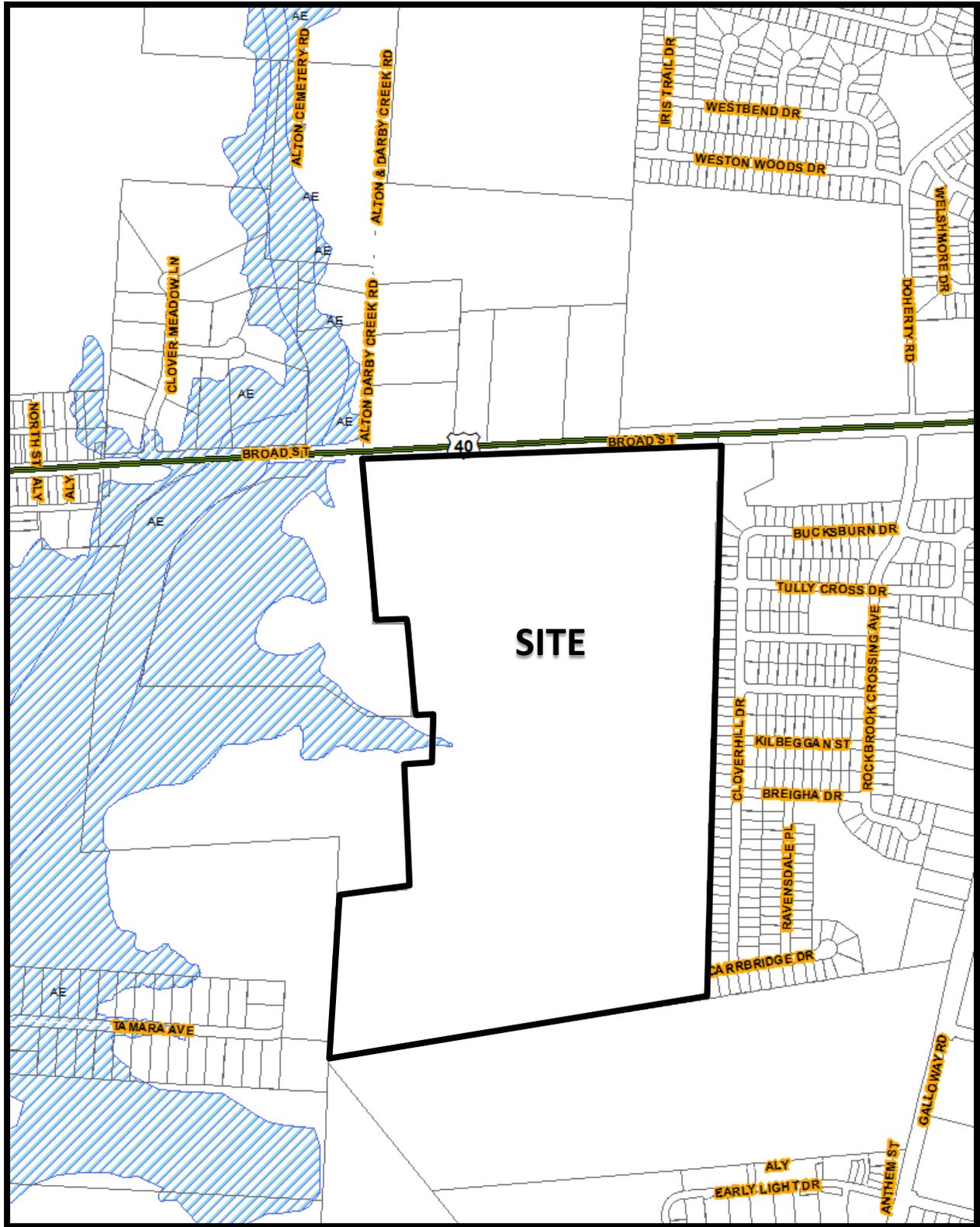
Big Darby Accord Watershed Master Plan (2006)



Z18-065
 6145 West Broad Street
 Approximately 126.31 acres
 R to CPD, PUD-6, L-AR-12, & L-C-2



Z18-065
6145 West Broad Street
Approximately 126.31 acres
R to CPD, PUD-6, L-AR-12, & L-C-2



Z18-065
6145 West Broad Street
Approximately 126.31 acres
R to CPD, PUD-6, L-AR-12, & L-C-2

Big Darby Accord Advisory Panel

218-065

Applicant Checklist and Submittal Requirements

Revised 1/26/2018

About the Panel

The Big Darby Accord Advisory Panel is an eleven-member body appointed by communities within the planning area. The Panel reviews zoning and development applications for compliance with the Big Darby Accord's goals and policies and provides recommendations to the Accord's member jurisdictions.

Project Information

Project Name

Blauser Farm

Project location

West Broad Street, Columbus, OH

Checklist Completed by

Gary T. Schmidt, G2 Planning + Design

Instructions

Please complete this form. The form provides guidance to applicants with projects that require Accord Panel review.

An application package for the Panel consists of 4 required components

1. Existing conditions site map
2. Conceptual site plan
3. Site data table
4. Applicant's checklist

Note: Incomplete application packages will not be scheduled for Accord Panel review and will be returned to the applicant. For additional information (including meeting dates and timeline) please contact the jurisdiction in which the project is located.

1. Existing Conditions Site Map: Required Elements

Instructions: Submit a map that details existing conditions of the subject site. Include each element listed below.

Map size: 24" x 36"

Map extent: Subject site plus 300' surrounding the subject site

Checkboxes: Indicate a completed item with a check in the appropriate box. For elements that don't apply, indicate NA

Scale: 1"=300' minimum

Surface Water Elements

- Watershed and sub-watershed boundaries
- Surface water locations including perennial, intermittent, ephemeral streams
- Floodway and 100-year floodplain
- Wetlands: jurisdictional and agricultural
- Drainage patterns
- Field Tile Locations
- Groundwater recharge / pollution protection zones
- Wellhead protection zone
- Stream water quality (EPA assessment)
- Stormwater management facilities (on-site & nearby)
- Water quality monitoring points (Site-level and, any OEPA within 300' of subject site and nearest Ohio EPA downstream and upstream monitoring sites)

Utility and Roadway Elements

- Existing septic systems
- Existing wells
- Existing utilities and easements
- Existing roads and rights-of-way

Land Elements

- Soil types including location of hydric soils (if present):
- Topography and 2-foot contours
- Wooded areas
- Open space / natural Areas
- Significant wildlife habitat
- Existing easements
- Easement planting and management plan

Other Elements

- Political jurisdiction boundaries
- Existing zoning of surrounding parcels
- Nearby recreation and community facilities
- Other historical, natural or cultural resources

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2. Conceptual Site Plan: Required Elements

Instructions: Submit a conceptual site plan showing the elements listed below

Map size: 24" x 36".

Map extent: Subject site

Checkboxes: Indicate a completed item with a check in the appropriate box. For elements that don't apply, indicate NA

Scale: 1"=200' minimum

Physical Elements

- Property lines
- Setbacks / build-to lines
- Building footprint (*except for single family lots*)
- Parking areas (*except for single family lots*)
- Proposed roadways
- Proposed utilities and easements
- Adjacent street names and access points
- Adjacent zoning and land uses
- Vicinity map and north arrow

Environmental Elements

- Floodway and 100-year floodplain
- Stream corridor protection zone area
- SCPZ permanent on-site designation (method/design)
- LID techniques: location and type
- Stormwater BMPs: location and type
- Water quality monitoring points
- Planting areas: location, size, species
- Location of stormwater recharge zone

3. Site Data Table: Required Elements

Instructions: Submit a table with the following data listed. Include the table as a separate document or list the data on the conceptual site plan.

Checkboxes: Indicate a completed item with a check in the appropriate box. For elements that don't apply, indicate NA

*Natural Area Open Space calculations are to be based on the Accord Panel's adopted definition of Conservation (Natural) Open Space.

Acreage statements: developed areas

- Site area: gross
- Roadways and rights of way
- Site area: net of rights-of way
- Zoning districts: area for each district
- Residential land use area
- Non-residential land use area

Acreage statements: open space

- Stream corridor protection zone area
 - Other preservation and no-disturb zones
 - Open space: total
- Consisting of:*
- Natural areas* (including SCPZ)
 - Active recreation area
 - Stormwater management facilities area
 - Other area

Density calculations

- Density: gross
- Density: net of rights-of-way
- Density: net of rights-of-way, open space areas

Open space calculations

- Open space requirement percentage (see Dev Plan)

Include a table showing the following calculations. The areas named below must be consistent with the acreage statements to the left

Area	Divided by:
<input checked="" type="checkbox"/> Open space: total	Site area: gross
<input checked="" type="checkbox"/> Open space: total	Site area: net of rights-of-way
<input checked="" type="checkbox"/> SCPZ area	Site area: net of rights-of-way
<input checked="" type="checkbox"/> Natural areas* (including SCPZ)	Site area: net of rights-of-way
<input checked="" type="checkbox"/> Active recreation area	Site area: net of rights-of-way
<input checked="" type="checkbox"/> Stormwater mgmt. facilities area	Site area: net of rights-of-way
<input checked="" type="checkbox"/> Natural areas* (including SCPZ)	Open space: total
<input checked="" type="checkbox"/> Active recreation area	Open space: total

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4. Applicant's Checklist: Required Elements

Instructions: Complete the table below. Information provided should demonstrate how your proposal complies with the goals and policies of the Big Darby Accord. Please identify and explain any variation from the Accord Plan.

If you include a separate document instead of completing the table below, *each requirement below must be addressed in the order listed.*

Conservation

Requirement (BDA reference)	Details/Comments
If land is proposed for development that is Tier 1 through 3, specify what types of development is being proposed for these areas?	Commercial, Multi-family and Single-family homes
What Tier 1 land is being protected and how is it being protected (3.1)?	Most of the Tier 1 lands are in the 100 year flood plain. The 100 year floodplain land is proposed to be used only for Recreation and Parks ball fields and no structures. The Darby Accord (4.3) recommends that open space be allocated based on the tiers and allows active recreational uses limited to multi-purpose fields and playgrounds as a conditional use of opens space. Other Tier 1 lands to be preserved include a ±9 acre woods in the southeast corner and the majority of wetlands on the Blauser farm-located north and south of Reese ditch.
What Tier 2 Land is being protected and how is it being protected (3.1)?	The Tier 2 land is mostly adjacent to Reese ditch, and is protected by being part of public parks & open space.
What Tier 3 Land is being protected and how is it being protected (3.1)?	The majority of the Tier 3 lands will be utilized for the commercial development. Some Tier 3 lands 100' on either side of the Reese Ditch will be protected within a stream corridor protection zone.
Are wooded areas greater than 3 acres being preserved and how will they be protected (3.1.1)?	There are two significant wooded areas of approximately 30 and 9 acres that exist on the property. The 30+/- acre wooded area was previously sold to the Columbus Recreation and Parks department. (There is no indication that any assessment is needed of the woodland areas. Wooded areas over 3 acres need to be delineated as per the Accord).
How much open space is being provided? Will the open space provided be based on the minimum of 10 acres per 1,000 residents? Note: this includes any tiered land that is being preserved. (5.16)?	The plan provides for a total of ± 116 acres of open space. It is comprised of: <ul style="list-style-type: none"> • ± 43.6 acres City of Columbus Parkland • ± 30.5 acres Columbus parks & Recreation land • ± 9.5 acres Stream Corridor Protection Zone • ± 32.4 acres park/stormwater areas
How will the open space be connected within site?	The Recreation Center site (±30.5 ac) will combine with adjacent lands previously purchased by Columbus Recreation & Parks to provide a regional park facility of over 100 acres for southwest Columbus. Additionally, open spaces within the commercial and residential areas will be linked to the parkland with trails (see Development Plan).
How will the open space link with off-site open space (5.4.2)?	There are planned trail connections to Summerlyn to our east through the ± 9 acre woods preserve in the southeast corner of the site. Also, trail connections acre planned through the site to the Columbus park and to Recreation land to our west.

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<p>How will the open space be permanently protected (4.3)? Describe: easements, dedication, etc.</p>	<p>The bulk of this open space has been sold to Columbus Parks and Rec and is owned and managed publicly. Columbus has recently conducted a stream restoration project for the Clover Groff ditch, expanding its sinuosity and length by more than 30%.</p> <p>The rest of our common open space is in large, contiguous areas that help preserve and enhance important stream buffers (along Reese ditch) and to preserve a high quality woods in the SE corner of the site. These areas will either be dedicated to Columbus or will be owned and managed by a homeowner's association (HOA) or by the owners of the commercial/mf developments.</p> <p>Smaller open space areas for setbacks and/or stormwater retention will remain on private property and will be owned and managed by a homeowner's association or by the owners of the commercial/mf developments.</p>
<p>Significant Habitat (land and water based, including any listed species)</p>	<p>There are seven (six if not including the parkland) regulated wetlands on site. Preliminary jurisdictional authority and wetland classification are summarized in the streams and wetlands section. There are riparian corridors of varying widths along the Clover Groff and Reese ditches. Woodlands are discussed below. According to the United States Fish and Wildlife Service (USFWS) protected species list (dated April 2018), Franklin County, Ohio is included in the habitat range of the following federally endangered (E), threatened (T), or species of concern (SC) species: Indiana bat (E), northern long-eared bat (T), running buffalo clover (E), Scioto madtom (E), clubshell (E), northern riffleshell (E), rayed bean (E), snuffbox (E), rabbitsfoot (T), eastern hellbender (SC), and bald eagle (SC). According to the Ohio Department of Natural Resources Natural Heritage Database (response letter dated September 6, 2018), there are no records for rare or endangered species within a one-mile radius of the project area.</p>
<p>What plant species are native and non-invasive (4.3)?</p>	<p>Plant species on this site can be broken into 3 broad categories:</p> <ol style="list-style-type: none"> Riparian (along Reese ditch) High quality woods (in SE corner) Volunteer/scrub growth (along Broad Street) <p>Amongst these 3 categories, we observed the following native, non-invasive: White Oak, Bur Oak, Hickory, Hornbeam, Walnut, Cottonwood, Locust, Hackberry, Silver Maple, Dogwood, Spicebush, Virginia Creeper</p>
<p>Soil Types</p>	<p>The following soil types are found within the project bounds: Celina silt loam 2%-6% slopes (CeB), Crosby silt loam 0%-2% slopes (CrA), Crosby silt loam 2-6% slopes (CrB), Kokomo silty clay loam 0%-2% slopes (Ko), Lewisburg-Crosby complex 2%-6% slopes (LeB), Miamian silty clay loam 6%-12% slopes (MIC2), Miamian clay loam 6%-12% slopes (MmC3), Minster silty clay loam 0%-1% slopes (Mn13A). Ko and Mn13A are considered hydric. CeB, CrA, CrB, LeB may have hydric inclusions in depressional areas. MIC2, MmC3 may have hydric inclusions along drainageways.</p>
<p>Does the development include a long-term planting management plan that addresses items found in Section 4.3 (4.3)?</p>	<p>Single family areas will be required to plant street trees on all public right-of-ways, and houses will have minimum landscape standards regarding landscaping for lawns and foundation plantings.</p> <p>Commercial areas will all be landscaped and will include professional management for long term sustainability.</p>
<p>Will the development provide a 3-year performance bond for maintenance of these plantings (4.3)?</p>	<p>3-year performance bond to ensure establishment. Then 2-year bond to ensure proper maintenance.</p>

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Streams and Wetlands	
Requirement (BDA reference)	Details/Comments
Field Tile Locations	Franklin County Soil and Water Conservation District surveyed the Blauser Farm reaches of Clover Groff and Reese Ditch in December of 2002. At that time, there were no tile outfalls and 3 crossings found on Reese Ditch. There were several outfalls found along Clover Groff with only one 4 inch clay tile on the east bank that may function to provide drainage from the site. It was not flowing at the time of the survey.
Have all the wetlands (agricultural) been identified in conjunction with NRCS (4.2.2)?	Since the intent is to convert the agricultural land to a non-agricultural use, the wetland areas have been identified in accordance with United States Army Corps of Engineers (USACE) regulatory guidance (refer to following section).
Have all the wetlands (non-agricultural) been identified in conjunction with Army Corps of Engineers and OEPA (4.2.2)? Please indicate category of each wetland.	A Preliminary Jurisdictional Waters Delineation (dated September 10, 2018) has been completed and wetland boundaries within the project area have been delineated in accordance with the USACE regulatory guidance. Wetland habitat quality has been categorized in accordance with the Ohio EPA Ohio Rapid Assessment Method (ORAM). The delineation report has been submitted to the USACE along with a request for a Preliminary Jurisdictional Determination (PJD). The following wetland (ORAM) categories are preliminary, pending verification by the Ohio EPA: W-1 (2), W-2 (2 – modified), W-3 (2 – gray zone), W-4 (1), W-5 (1), and W-6 (2).
Will identified wetlands be preserved or impacted by development? Explain reasoning and plans for preservation/mitigation. (4.2.2)?	The development plan will impact wetland W-2 and the remaining wetlands will be avoided. The proposed development has been modified to avoid and minimize wetland impacts. Approximately 70% of the delineated wetlands will be preserved. Impacts to W-2 are necessary to facilitate development in the northeast portion of the project area. It is proposed to mitigate W-2 impacts by purchasing wetland credits from Big Darby-Hellbranch mitigation bank.
If identified wetlands will be impacted, explain status of permit and plans for mitigation. The Accord recommends mitigation within the Accord planning area (4.2.2)	Following receipt of a PJD from the USACE, a Pre-Construction Notification (PCN) will be submitted to the USACE for a Nationwide Permit. It is proposed to mitigate W-2 impacts by purchasing wetland credits from Big Darby-Hellbranch mitigation bank which is located in the Accord planning area.
Will the development provide a wetland protection plan during the construction phase (4.2.2)?	After zoning, but prior to construction a wetland protection plan will be submitted that will meet or exceed local, state and federal wetland preservation requirements.
How will the 100-year floodplain be protected from fill and/or excavation (4.7.4)?	After zoning, but prior to construction a floodplain/floodway protection plan will be submitted that will meet or exceed local and state requirements for filling and encroachments within these areas.
How does the project incorporate stream restoration (3.6)?	Reese Ditch will be protected with an approximate 200' riparian buffer (100' per side). The Clover Groff riparian buffer has been protected by a permanent easement held by the City of Columbus Recreation and Parks Department.
How does the project incorporate site monitoring of water quality?	Water quality will be monitored with grab samples at site outfalls for TSS, N, and P two times per year (once during the dry season and once during a 24hr 0.75" rain event) for a period of 5 years as recommended in the Big Darby Accord. Frequency, duration, and location of monitoring are recommended in the accord (Figure 5.5 p5-10), however there are no specific exceedance thresholds established for site level monitoring (Accord 4.7.3, p4-13). Monitoring may occur, but will have no methodology to compare success with the TMDL reduction goals.

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<p>Are any streams located on the site? If so, indicate stream use designation and attainment status.</p>	<p>Clover Groff Ditch: perennial stream, Warm Water Habitat Reese Ditch: intermittent stream, no HHEI evaluation</p> <p>Clover Groff is not in attainment of its Warm Water Habitat status due to low IBI and low ICI scores despite favorable habitat in proximity to the site. According to the Biological and Water Quality Study of the Big Darby Creek Watershed (2002), excessive siltation from upstream sources and high nutrient levels are likely causes for non-attainment. Reese Ditch has not been evaluated to receive a use designation. It is likely a Class 1 or Class 2 primary headwater stream</p>
<p>Does any portion of the project fall within the Stream Corridor Protection Zone? If yes, how has it been calculated and how will it be protected? (4.2.1)?</p>	<p>A 200' wide stream corridor protection zone (SCPZ) along Reese ditch will be established. Conditional use of the SCPZ for stormwater BMPs intended to prevent direct pipe discharge to the stream is anticipated (Accord 4.2.1, p4-4)</p>
<p>What are the proposed uses and ownership for the SCPZ (4.2.1)?</p>	<p>The proposed stream corridor protection zones will be laid over the center line of Clover Groff Ditch and Reese Ditch. Uses may include passive recreational use and street crossings. Stormwater BMPs such as grassed or enhanced swales may also be used to facilitate outlets to receiving channels.</p>
<p>Stormwater Best Management Practices</p>	
<p>Requirement (BDA reference)</p>	<p>Details/Comments</p>
<p>Are the detention (quantity) controls adapted from the critical storm method (4.7.1)?</p>	<p>Post-construction stormwater quantity control BMPs will be designed to meet the critical storm method which is the preferred method for quantity control calculation by the City of Columbus Stormwater Drainage Manual and the Ohio EPA.</p>
<p>Will the post-construction groundwater recharge rate equal or exceed the pre-development rate (4.7.2)?</p>	<p>There are two hydrogeologic settings within site. Approximately 75% is Zone 7D8-112, and approximately 25% Zone 7Ac7-121. Net recharge for both zones is in the middle of the range at 4-7 inches. Net recharge indices range from 0-10+ inches. Pollution potential index was 112 (low-moderate) for zone 7D8 which incorporates all of the residential area and most of the commercial area. The pollution potential index was 121 for zone 7Ac7 (moderate) which incorporates the 100 year flood plain, and a small portion of the commercial area consisting primarily of the recreation center. Pollution potential indices range from <79 – 199. Figure can be produced.</p>
<p>Please give details about the Stormwater Pollution Prevention Plan (SWPPP) that you will complete (4.7.3)?</p>	<p>A SWP3 will be provided to meet or exceed the local or state requirements with respect to anticipated construction earth disturbed area or single/multi phasing of the development plan.</p>
<p>What are the details for site level monitoring of water quality, including approximate locations and data collection (5.3.1 and Figure 5.5)?</p>	<p>Water quality will be monitored with grab samples at site outfalls for TSS, N, and P two times per year (once during the dry season and once during a 24hr 0.75" rain event) for a period of 5 years as recommended in the Big Darby Accord.</p> <p>Frequency, duration, and location of monitoring are recommended in the accord (Figure 5.5 p 5-10), however there are no specific exceedance thresholds established for site level monitoring (Accord 4.7.3, p4-13). Monitoring may occur, but will have no methodology to compare success with the TMDL reduction goals.</p>
<p>Were BMPs selected through the site planning process, please describe your approach (4.8.1)?</p>	<p>The site plan utilizes a conservation development approach which includes clustering the roads and buildings on the most easily developed portions of the site while preserving the most environmentally sensitive areas in permanent open spaces easements.</p> <p>Low impact design principles have been utilized in the conceptual layout of the stormwater system as well. The design intent is to reduce post development runoff volume and rate to pre-development volume and rate while provide integrated source quality controls.</p>

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Development Review Checklist

To be completed by Agency Staff
Revised 2/29/09

Section A: General Information

Project Information	
Site Address Northwest corner of Roberts Road and Alton Darby Road	Parcel IDs(s) 053-000004, 053-000006, 053-000007, 053-000008, 053-000009, 053-000010, 053-000011, 053-000012, 053-000013, 053-000014, 053-000015, 053-000016, 053-000018 & 053-000019
Existing Zoning District(s) R-R, Rural Residential & R-1, Low Density Residential	Total Acreage: Gross 352.95
Proposed Zoning District(s) HCD, Hilliard Conservation District	Total Acreage: Net 312.27

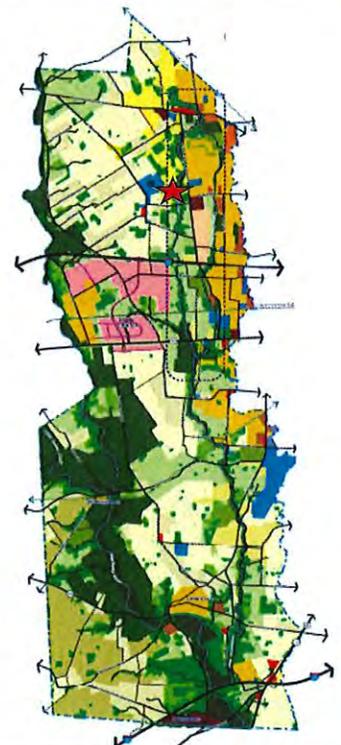
Tracking Information
Accord Panel Case # AP-18-04
Jurisdiction Case # 18-0401LC

Jurisdiction	
<input type="checkbox"/> Brown Township	<input type="checkbox"/> Columbus
<input type="checkbox"/> Norwich Township	<input type="checkbox"/> Grove City
<input type="checkbox"/> Pleasant Township	<input type="checkbox"/> Harrisburg
<input type="checkbox"/> Prairie Township	<input checked="" type="checkbox"/> Hilliard
<input type="checkbox"/> Washington Township	

Meeting Dates	
Review Body	Date
Staff Review:	10/10/18
Accord Panel:	11/13/18
Jurisdiction Commission	To be determined

Agency Staff Information – Primary Contact	
Name John Talentino	
Jurisdiction / Agency Name Hilliard	
Address 3800 Municipal Way	
Hilliard, Ohio	
43026	
Phone #	Fax #
614-334-2444	614-334-1176
Email jtalentino@hilliardohio.gov	

Project Location (note to staff: place star in approximate location of project)



Zoning Authority	
<input type="checkbox"/> Columbus	
<input type="checkbox"/> Franklin County	
<input type="checkbox"/> Grove City	
<input type="checkbox"/> Harrisburg	
<input checked="" type="checkbox"/> Hilliard	
<input type="checkbox"/> Prairie Township	

Subdivision Authority	
<input type="checkbox"/> Columbus	
<input type="checkbox"/> Franklin County	
<input type="checkbox"/> Grove City	
<input type="checkbox"/> Harrisburg	
<input checked="" type="checkbox"/> Hilliard	

Section B: Background

Project Description

The site consists of 14 parcels totaling 352.95 acres located at the northwest corner of Roberts Road and Alton Darby Road. The proposal is to rezone the site to Hilliard Conservation District (HCD) for residential, commercial, and park uses. The site has an existing 150-foot-wide electric power easement with existing overhead lines running north-south through the middle portion of the site. The site has existing Tier 1 areas including a restored Hamilton Ditch which runs north-south through the eastern portion of the site, and existing wooded areas in the northwest portion.

The proposal consists of 148 single-family lots, 297 attached residential units, approximately 60.21 acres of commercial uses, and 171.7 acres of open space. The proposed density is 1.3 dwelling units per acre. Commercial uses are proposed in southeastern portion of the site, and residential and open space areas are distributed throughout the remainder. The plans show a new roundabout at the intersection of Alton Darby Road and Pinefield Drive and portions of two roads shown on the Hilliard Thoroughfare Plan. One road extends from the proposed roundabout westward across the Hamilton Ditch and then curves to the north to the northern property line, and the other extends from that road south to Roberts Road. The plans indicate that 50 percent of the site (171.7 acres) will be open space. Retention ponds are shown in various areas throughout the site. Multi-use paths and sidewalks are proposed throughout the site including multiple crossings of Hamilton Ditch and a connection to the adjacent Hilliard Bradley High School site to the west.

Background Information

A timeline of significant actions is included below.

4/28/08	The City of Hilliard adopted the final draft of the Big Darby Accord Watershed Master Plan (BDAWMP) dated June 2006 (Resolution No. 08-R-10).
2/9/09	Ordinance 09-02 to annex approximately 493.6 acres owned by Homewood Corporation, H&G LLC, et al to the City of Hilliard was adopted.
8/24/09	Ordinance 09-41 to assign the A-1, Agricultural zoning classification to the Homewood Corporation and H&G LLC properties was adopted.
10/27/14	Ordinance 14-29 rezoning the Homewood Corporation and H&G LLC properties from A-1 to R-R, Rural Residential was adopted.
10/3/18	Application #18-0401LC to rezone Homewood Corporation and H&G LLC properties totaling approximately 352.95 acres from R-R, Rural Residential, and R-1, Low Density Residential, to HCD, Hilliard Conservation District, was submitted to the City of Hilliard.

Section C: Assessment and Evaluation

Conservation Assessment

The proposed development is within the Priority Stream Restoration Zone as well as the Protected and Tier 1 Environmental Zones. There are 55.27 acres in Protected and 109.04 acres in Tier 1. All the Tier 1 land must be dedicated as public park land which will be preserved as open space with a permanent conservation easement. The proposed plan shows that 50.02 percent of the site (176.53 acres) will be open space which meets the recommendations in the BDAWMP. Most of the open space is contiguous with an extensive path system. The proposed open space is to be enhanced through the planting of native species. Staff recommends that plantings be made in conjunction with a long-term planting management plan including a 3-year performance bond.

Staff recommends that the plans be revised to clearly show the Tier 1 land consistent with the provisions of the BDAWMP, and to show multi-use paths and sidewalks consistent with the Hilliard Complete Streets policy. Multiple connections to the Hilliard Bradley High School site should be made.

Streams and Wetlands Assessment

The Hamilton Ditch stream restoration area on this site is within a conservation easement and will be protected in perpetuity. Most of the existing wetlands will be preserved. Minor impacts associated with the provision of public right-of-way and the proposed development will occur. Permits will be applied for prior to construction. A wetland protection plan will be provided.

Stormwater Best Management Practices Assessment

Detention controls will be adapted from the critical storm method. The Post-construction groundwater recharge rate will exceed the pre-development rate. The on-site wet basin will be used as the post-construction sediment control feature. BMPs include wet extended detention basins, vegetated swales, groundwater recharge bio-retention areas, and grass filter strips.

Alternative Wastewater Systems Assessment

The site will be served by central sewer from the City of Hilliard that is treated by the City of Columbus.

Revenue Assessment

The Accord outlines three ways to generate revenue; tax increment financing (TIF), a new community authority (NCA) and developer contributions.

A \$2,500 fee per residential unit will be paid to the City of Hilliard. Additionally, New Community Authority and developer contributions are anticipated, and public park land will be dedicated to the City of Hilliard.

Section D: Overall Assessment and Staff Analysis**Overall Assessment****Summary**

Figure 3.7 Proposed General Land Use Map identifies the site as Conservation Development Overlay Low Density with 50 percent open space and 1 dwelling unit per acre. The Hilliard Comprehensive plan identifies the site within the Big Darby Focus Area and recommends conservation practices preserving at least 50 percent of the area as usable open space with a gross density of one dwelling unit per acre. Higher net densities may be achieved as long as the overall density (of the Big Darby Focus Area) does not exceed one dwelling unit per acre. Overall gross density may be increased by 0.1 units per acre for every additional 10 percent of the site that is dedicated as open space above the required 50 percent. For significant stream restoration within the development site, an additional 0.1 units per acre of the overall gross density of the site will be allowed with final determination being made by the City of Hilliard. An additional 0.1 units per acre of the overall gross density of the site may be granted by the Planning and Zoning Commission, in its sole discretion, for other sustainable design elements. An additional 0.1 units per acre of the overall gross density of the site may be granted by the Planning and Zoning Commission, in its sole discretion, for extraordinary costs for regional serving infrastructure.

A total of 148 single-family lots, 297 attached residential units, approximately 60.21 acres of commercial uses, and 171.7 acres of open space are proposed for the 352.95-acre site. The proposed density (1.3 dwelling units per acre) is consistent with the recommended density in the Hilliard Comprehensive Plan for developments that use conservation design, stream restoration, and extraordinary costs for regional infrastructure. The proposed plan shows 50 percent of the site will be open space, a conservation subdivision design, a significant stream restoration area, and two Thoroughfare Plan-required streets. Providing large areas of contiguous open space/park land is consistent with the recommendations in the BDAWMP and the Hilliard Comprehensive Plan. Staff recommends that the plans be revised to show the path system will be extended consistent with the Hilliard Complete Streets policy and to the existing paths on the adjacent high school property to the west.

Staff finds that the proposed plan conforms to the recommended density in the Hilliard Comprehensive Plan and the BDAWMP. Staff finds that the proposal is consistent with the recommendations in the Plan concerning the provision of open space. Staff finds that the proposal must be modified to conform to the recommendations in the Plan concerning path connections.

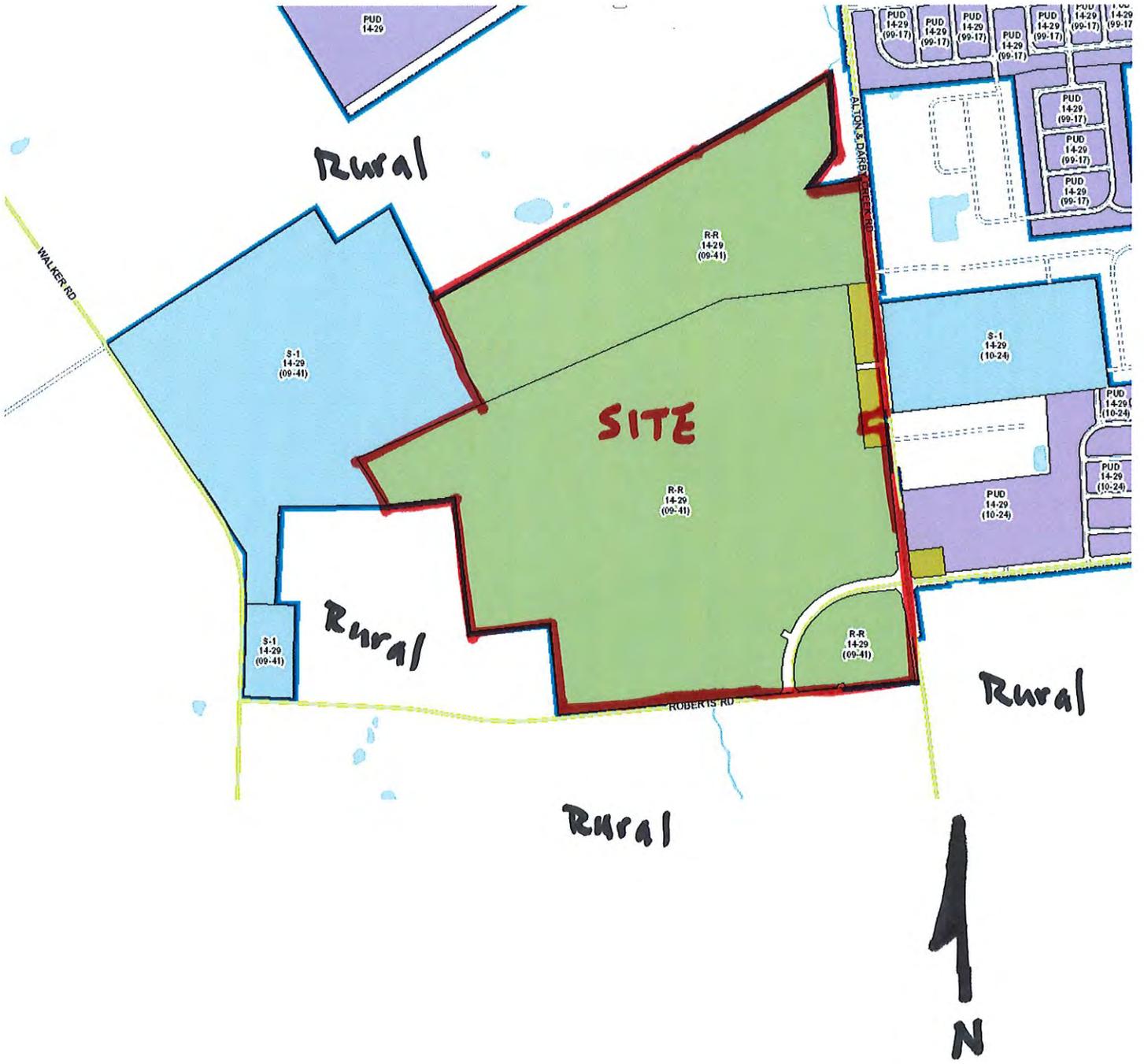
Staff Analysis				
Requirement	Yes	No	NA	Analysis
Existing conditions site map is complete		✓		
Conceptual site plan is complete	✓			
Site data table is complete and accurately calculated	✓			
Assessments	Pass	Fail	Explanation - Items incomplete, steps required to correct, etc.	
Conservation assessment	✓		Provides not less than 70 percent open space and preserves existing Tier 1 and Tier 2 land.	
Streams and wetlands assessment	✓		Preserves stream restoration area and most wetlands.	
Stormwater management assessment	✓		Post-construction groundwater recharge rate shall equal or exceed the pre-development rate. BMPs include retention ponds with wetland shelves, and vegetative swales.	
Alternative wastewater assessment	NA	NA	NA	
Revenue assessment	✓		New Community Authority and developer contributions are anticipated.	
Staff analysis overall assessment	✓		Proposal is consistent with the BDAWMP concerning the provision of open space and Thoroughfare Plan streets, the preservation of Tier 1 land, and will not exceed the number of sewer taps planned for at the time of annexation.	

Staff Recommendation	
Staff recommends:	
<input checked="" type="checkbox"/> Approval <input checked="" type="checkbox"/> with conditions (see below) <input type="checkbox"/> Disapproval	
Reasons / Conditions:	
1. Revise the plans to provide additional bike paths through the site and regional path connections to the adjacent properties to the east and west. 2. Revise the proposed development text to specify the park land dedication requirement consistent with the provisions of the Zoning Code. 3. Provide open space consistent with the BDAWMP.	
Checklist prepared by:	
<u>John Talentino</u> Agency Staff Member	<u>City Planner</u> Title
	<u>11/2/18</u> Date

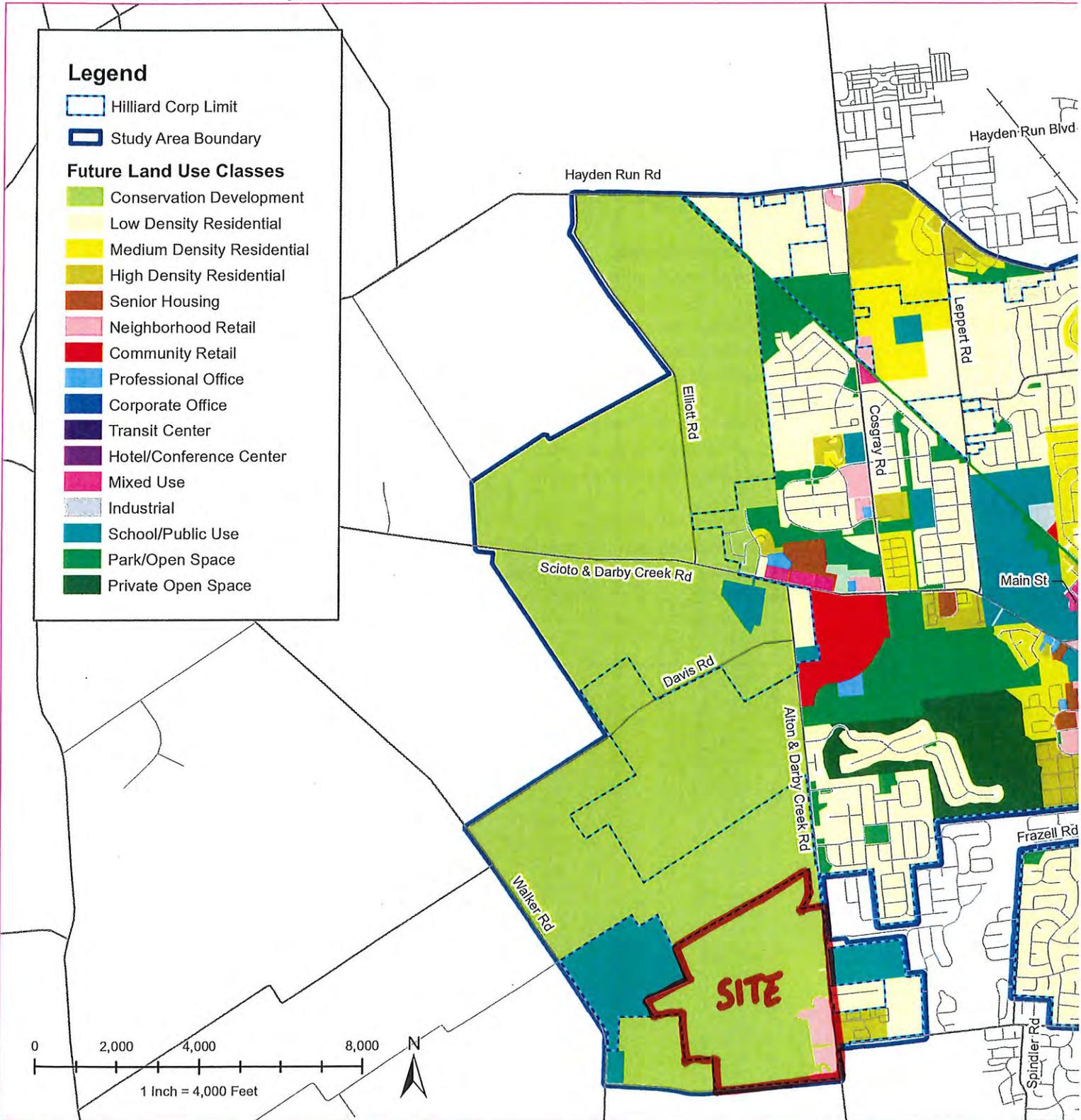
AERIAL PHOTO



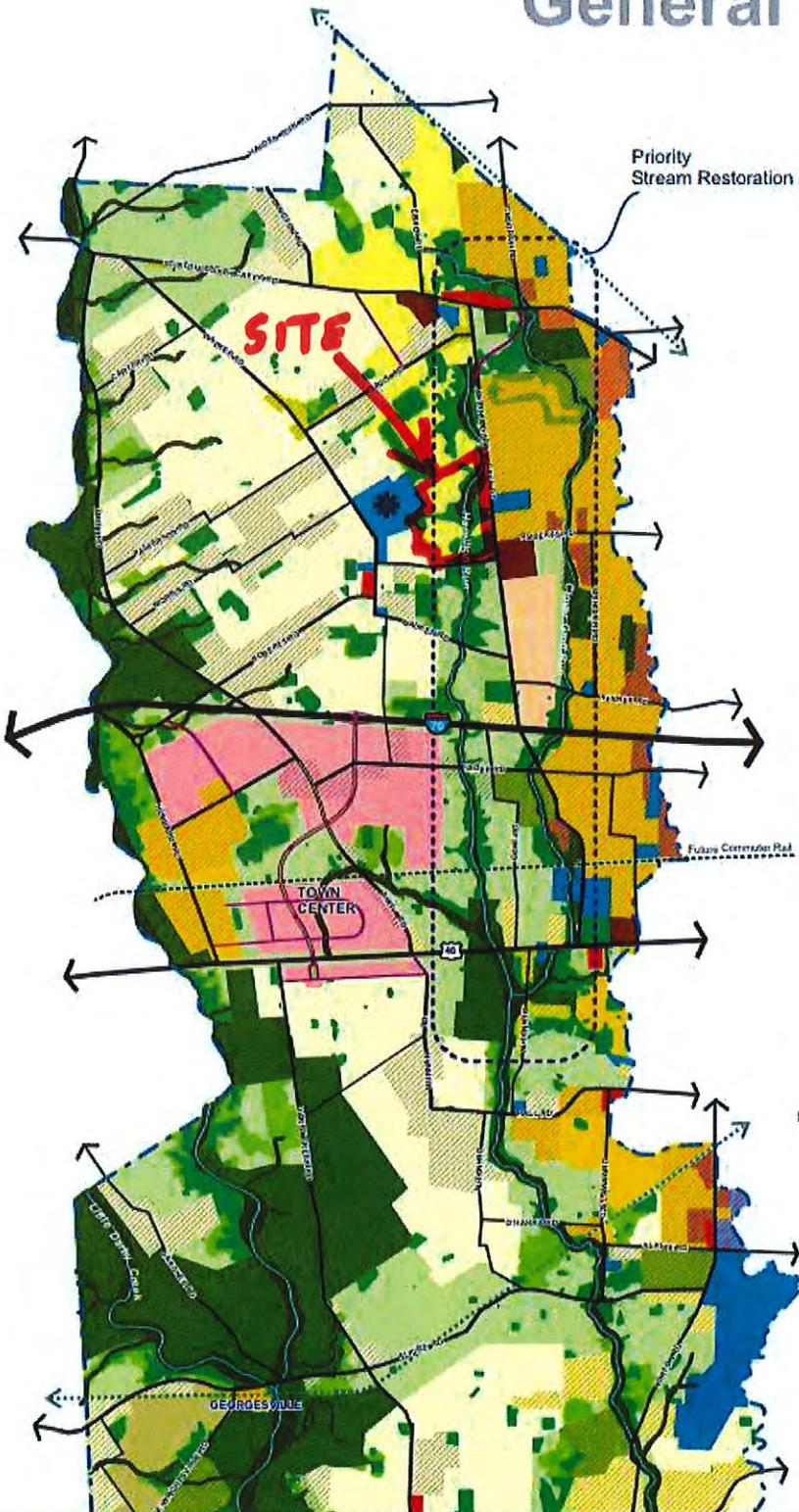
ZONING MAP



Map 4.5 – Land Use Plan Map



General Land Use Plan



- POTENTIAL NEW SCHOOL SITES 
- PROPOSED MAIN ROADS 
- EXISTING MAINROADS 
- TRAILS 
- EXISTING DEVELOPMENT 

- TOWN CENTER ZONE 
- RESIDENTIAL URBAN HIGH DENSITY > 8 DU/acre 
- RESIDENTIAL URBAN MEDIUM DENSITY 5 - 8 DU/acre 
- RESIDENTIAL SUBURBAN HIGH DENSITY 3 - 5 DU/acre 
- RESIDENTIAL SUBURBAN 0.5 - 3 DU/acre 
- RESIDENTIAL RURAL 0.2 - 0.5 DU/acre 
- RURAL RESIDENTIAL ESTATE (> 5 ac Lots) 
- SPECIAL PILOT (LEED) RESIDENTIAL* 3 DU/acre 
- COMMERCIAL 
- PUBLIC / INSTITUTIONAL 
- INDUSTRIAL 
- MIXED USE 
- AGRICULTURE 
- GOLF COURSE 

ENVIRONMENTAL CONSERVATION ZONES

- PROTECTED ** 
- EXISTING PARKS & EASEMENTS 
- TIER 1 
- TIER 2 
- TIER 3 

CONSERVATION DEVELOPMENT OVERLAYS

- 50 % OPEN SPACE based on existing zoning RURAL DENSITY 
- 50 % OPEN SPACE with 1 du/ac (sewer required) LOW DENSITY 

Important Note:

This map is a general land use map. It is recognized that application of the general land use plan map at the local level may require flexibility to allow for varying and unanticipated circumstances. Site by site analysis will be required to verify local conditions and requirements to ensure consistency with the provisions of the Big Darby Accord Plan

Land use categories shown represent maximum densities suggested for a particular area. The land use information shown is for planning purposes only.

Land Use Category Notes:

* Special Pilot Residential denotes State-of-the-Art LEED certified sustainable development to be implemented as a special project conditional to specific performance standards

** Protected: Environmental conservation areas protected by current

BIG DARBY ACCORD - GENERAL LAND USE PLAN

